



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC - 21/05/2024 - 9 WILTON STREET MEREWETHER -
DWELLING HOUSE - INCLUDES DEMOLITION - DA2023/01050**

7.1 Attachment A: Submitted plans - 9 Wilton Avenue Merewether

7.1 Attachment B: Draft Schedule of Conditions - 9 Wilton Avenue Merewether

7.1 Attachment C: Processing Chronology - 9 Wilton Avenue Merewether

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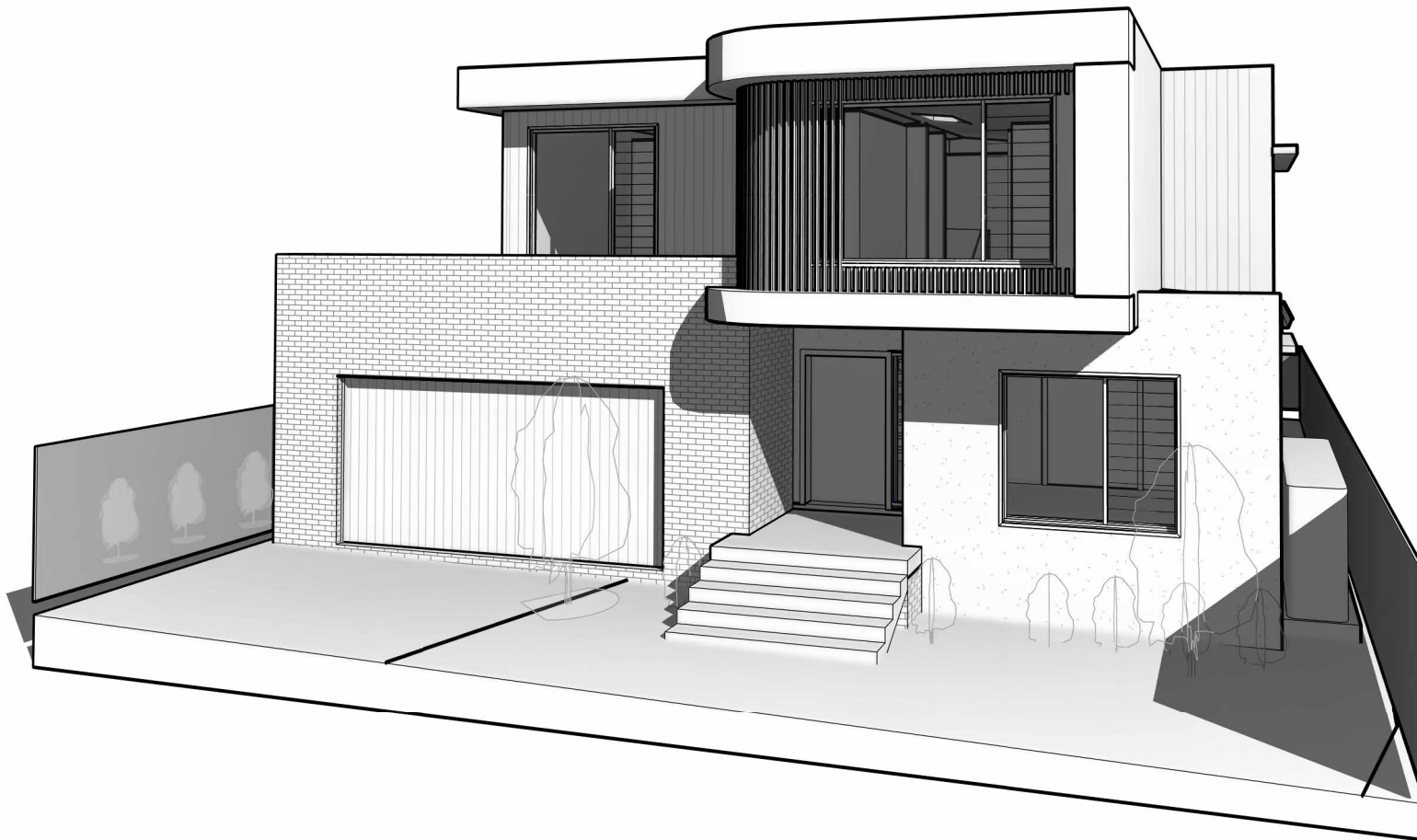
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SHALES

PROPOSED DWELLING

Lot 6 / - / DP1007375
9 WILTON STREET,
MEREWETHER



Sheet List					
Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date	Drawn By
A01	COVER SHEET	4	REVISED	02.04.24	DKL
A02	SITE ANALYSIS PLAN	3	REVISED	02.04.24	DKL
A03	SITE PLAN	5	REVISED	02.04.24	DKL
A04	GROUND FLOOR PLAN	4	REVISED	02.04.24	DKL
A05	LEVEL 1 PLAN	4	REVISED	02.04.24	DKL
A06	ELEVATIONS SHEET 1	4	REVISED	02.04.24	DKL
A07	ELEVATIONS SHEET 2	4	REVISED	02.04.24	DKL
A08	SECTIONS	4	REVISED	02.04.24	DKL
A09	WINDOW AND EXTERNAL DOOR SCHEDULE	4	REVISED	02.04.24	DKL
A11	STORMWATER MANAGEMENT PLAN	3	REVISED	02.04.24	DKL
A12	SEDIMENT CONTROL PLAN	3	REVISED	02.04.24	DKL
A13	FSR AREA PLAN	3	REVISED	02.04.24	DKL

9 WILTON STREET, MEREWETHER					
SUMMARY OF BASIX COMMITMENTS					
<p><i>This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to BASIX Certificate : 1252929S for Complete details. For definitions refer to basix.nsw.gov.au</i></p>					
WATER COMMITMENTS					
Fixtures					
4 Star Shower Heads	> 4.5 but <=6L/min				
5 Star Kitchen / Basin Taps	YES	5 Star Toilet	YES		
Alternative Water					
Minimum Tank Size (L)	3500	Collected from Roof Area (m2)	100m2		
Tank Connected To:					
All Toilets	YES	Laundry W/M Cold Tap	YES		
All Indoor Cold taps	NO	All Indoor Hot taps	NO		
THERMAL COMFORT COMMITMENTS					
Suspended floor min R value	NIL	Wall insulation min R value	R2.0		
Ceiling insulation min R value	R3.5	Roof Sarking			
Wind Driven Ventilators		Eave Size inc Gutter (mm)	600mm		
Total Area of Window & Door glazing (m2)	0				
ENERGY COMMITMENTS					
Hot Water	ELECTRIC HEAT PUMP		31 to 35 STCs		
Cooling System	Living	DUCTED A/C			
	Bedrooms	DUCTED A/C			
Heating System	Living	DUCTED A/C			
	Bedrooms	DUCTED A/C			
Ventilation	Bathroom	FAN, DUCTED TO ROOF	MANUAL ON/OFF		
	Kitchen	FAN NOT DUCTED	MANUAL ON/OFF		
	Laundry	NATURAL VENTILATION			
Natural Lighting	Window/Skylight in Kitchen		1		
	Window/Skylight in Bathrooms/Toilets		1	to	
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of Bedrooms / Study		4	Dedicated	NO
	Number of Living/Dining rooms		2	Dedicated	YES
	Kitchen		YES	Dedicated	YES
	All Bathrooms/Toilets		YES	Dedicated	YES
	Laundry		YES	Dedicated	YES
	All Hallways		YES	Dedicated	YES
OTHER COMMITMENTS					
Outdoor clothes line	YES	Ventilated refrigerator space	YES		
Stove/Oven	ELECTRIC OVEN / COOKTOP				

COVER SHEET



PROPOSED DWELLING

client:

SHALES

address:

Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER

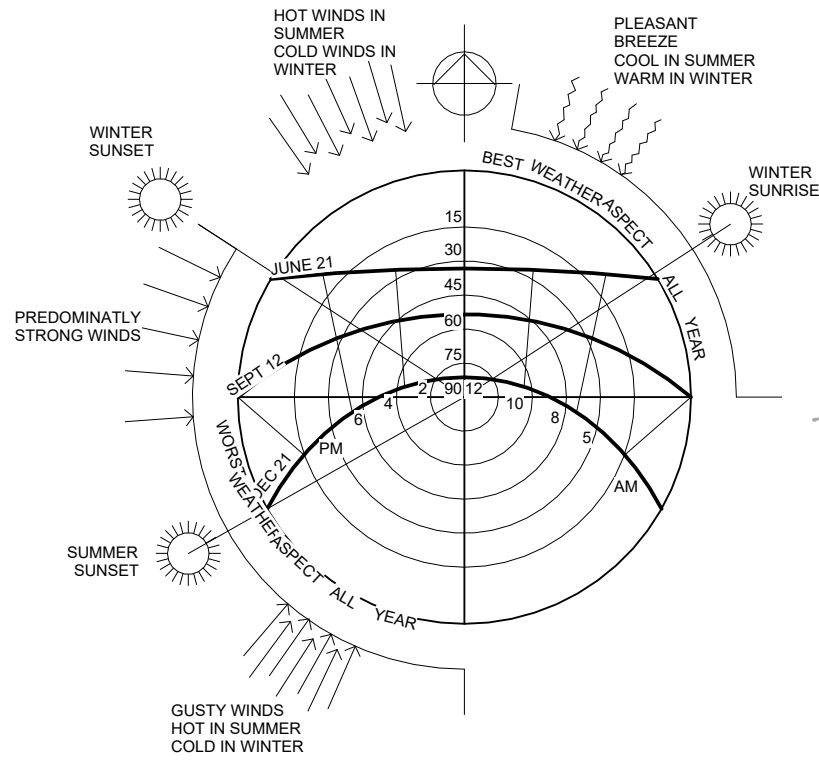
designer	drawn	scale
EM	DKL	
project number	date	
DD1832	02.04.24	
revision	sht size	drawing number
4	A3	A01

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Amendments

Issue	Date	Description
1	18.12.21	DA APPLICATION
2	18.01.23	REVISED
3	02.04.24	REVISED



SITE ANALYSIS PLAN
1 : 200

Legend	
Electricity Cable	
Gas Main	
Sewer Main	
Telstra Cable	
Water Main	
Stormwater	
Downpipe	dp
Telstra Pit	TEL
Power Pole	PP
Vehicle Crossing	VC
Sewer Manhole	SMH
Sewer Inspection Cover	SIC
Sewer vent	VENT
Level on Top of Kerb	KB
Water Meter	WM
Gas Meter	GM
Hydrant	HYD
Existing Fence	
Retaining Wall	
Erosion Control Fence	
Private Open Space	
Concrete Driveway & Paths	
Clothes Drying Line	
Waste & Recycle Bins	
Electricity Meter Box	
Hot Water Service	
Air Conditioning Unit	
External Yard Tap	
Gas Outlet	

SITE ANALYSIS PLAN



client:
SHALES

address:
Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

	designer	drawn	scale
	Designer	DKL	As indicated
	project number	date	
	DD1832	02.04.24	
revision	sht size	drawing number	
3	A3	A02	

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Amendments

Issue	Date	Description
1	11.06.21	CLIENT REVIEW
2	18.12.21	DA APPLICATION
3	18.10.23	REVISED
4	18.01.23	REVISED
5	02.04.24	REVISED

Note

All spot levels are in relation with the detail survey by David Cant Surveyors job # 21-229 Warners Bay

House levels are approximate only and to be determined on site.

Existing structures within the building area are to be removed prior to construction

Existing trees and vegetation to be cut and removed from the building area prior to construction

Written dimensions to take precedence over scaling

Site Calculations

Selected Rendered Brickwork

Selected External Lightweight Cladding

Site Area: 300 sq.m

Landscapeable Area : 72 sq.m (24 %)

Total Living Area : 212 sq.m

Floor Space Ratio : 0.71 :1 (Total Living Area / A)



SITE PLAN
1 : 200

Legend

Electricity Cable	
Gas Main	
Sewer Main	
Telstra Cable	
Water Main	
Stormwater	
Downpipe	dp
Telstra Pit	TEL
Power Pole	PP
Vehicle Crossing	VC
Sewer Manhole	SMH
Sewer Inspection Cover	SIC
Sewer vent	VENT
Level on Top of Kerb	KB
Water Meter	WM
Gas Meter	GM
Hydrant	HYD
Existing Fence	
Retaining Wall	
Erosion Control Fence	
Private Open Space	
Concrete Driveway & Paths	
Clothes Drying Line	
Waste & Recycle Bins	
Electricity Meter Box	
Hot Water Service	
Air Conditioning Unit	
External Yard Tap	
Gas Outlet	

SITE PLAN



client:

SHALES

address:

Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

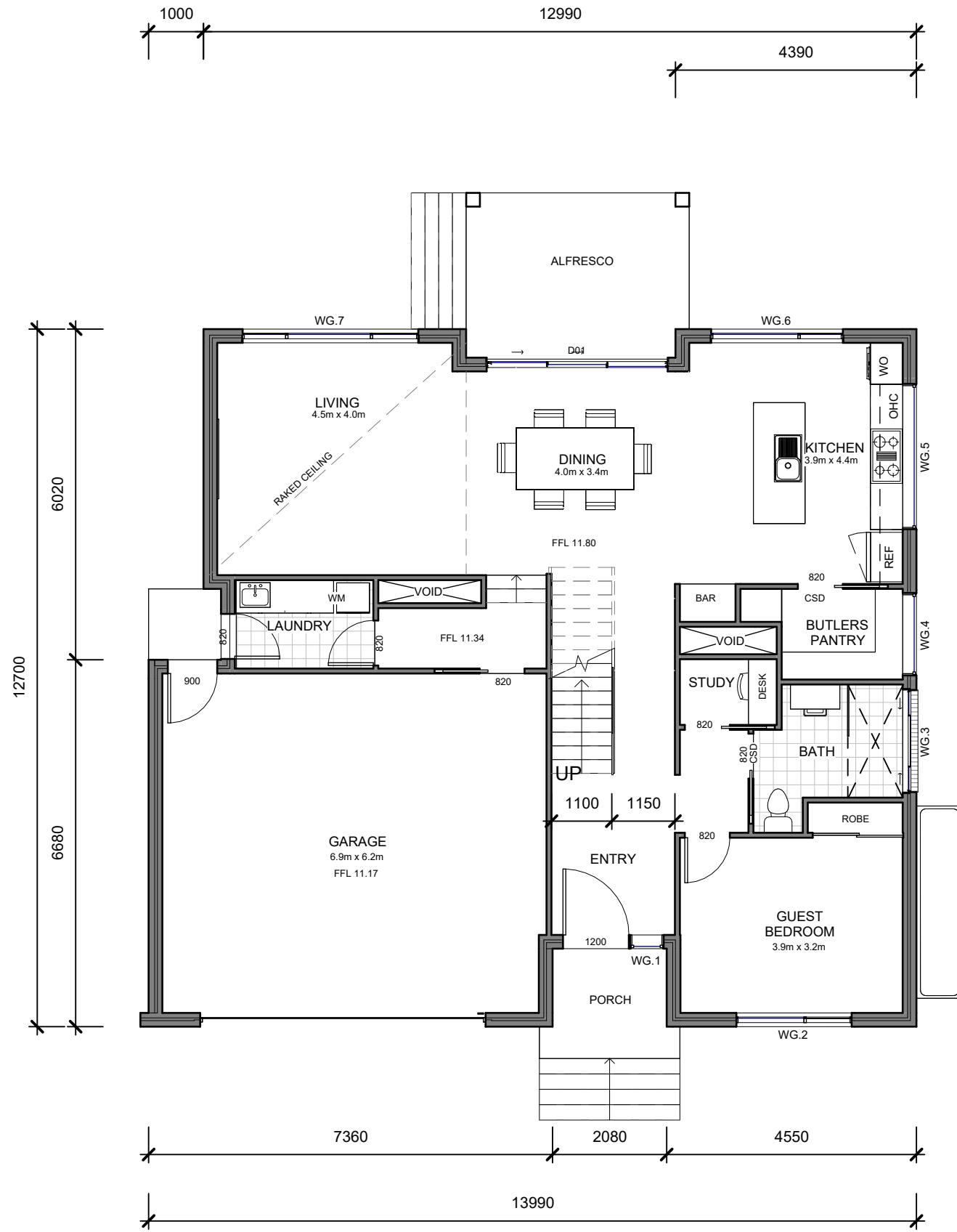
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GROUND FLOOR
1 : 100

Legend

Masonry Control Joint	CJ
Carpet	CP
Ceramic Tile	CT
Range Hood	RH
Hot Plates	HP
Dishwasher Space	DW
Overhead Cupboards	OHC
Wall Oven Space	WO
Down pipe	DP
Shower	SHR
Floor Waste	FW
Under Bench Oven Space	UBO
Washing Machine Space	WM
Refridgerator Space	REF
Laundry Tub	T
Smoke Detector	SD
Waste & Recycle Bins	BIN
Electricity Meter Box	EM
Hot Water Service	HWS
Air Conditioning Unit	AC
External Yard Tap	XT
Gas Outlet	GO

AREA CALCULATIONS		
NAME	AREA	
ALFRESCO	12 m ²	
GARAGE	43 m ²	
GROUND FLOOR	109 m ²	
LEVEL 1	103 m ²	
PORCH	4 m ²	
AREA TOTAL	272 m ²	

GROUND FLOOR PLAN



client:
SHALES

address:
Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

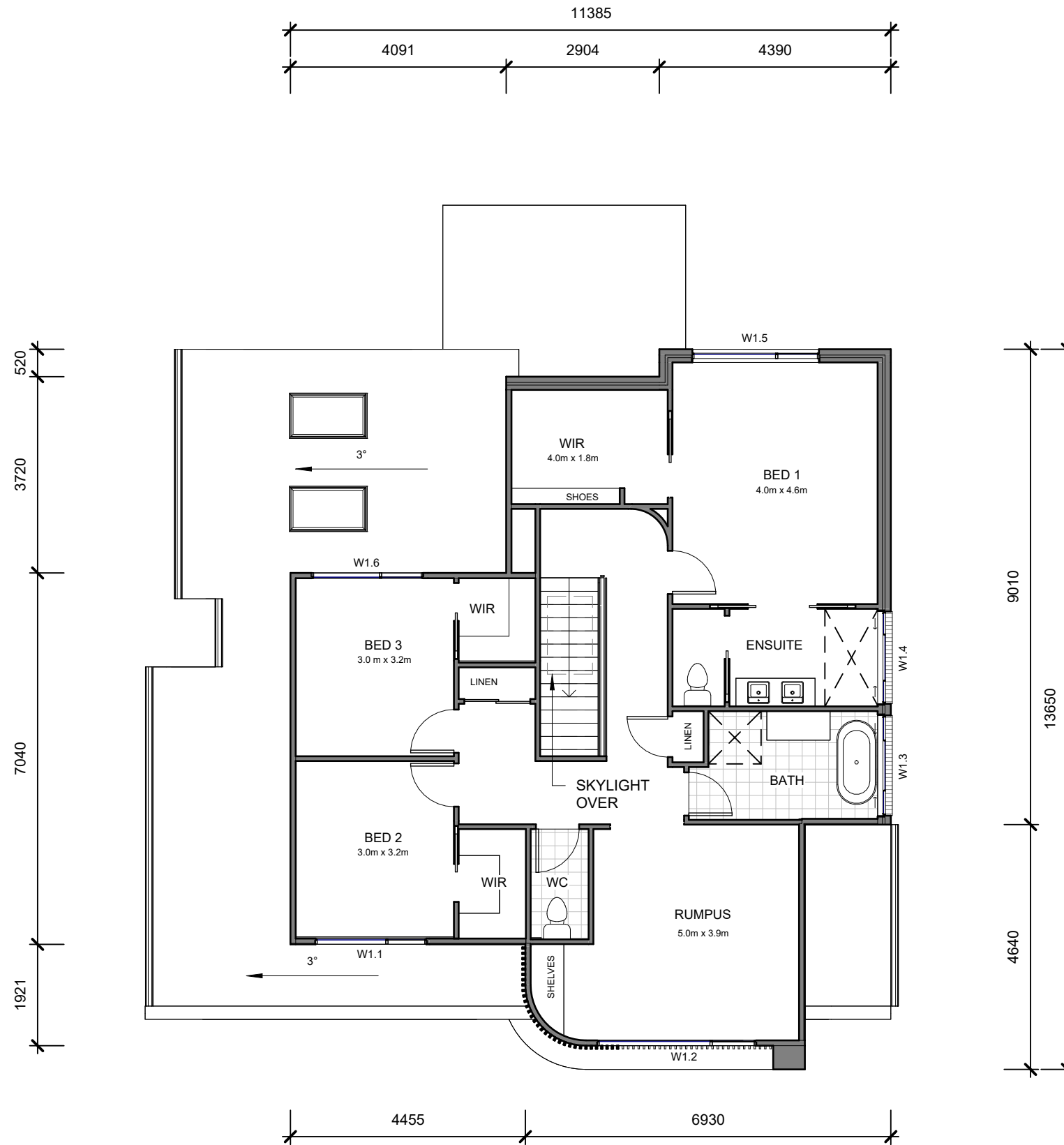
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	project number	date	
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revision	sht size	drawing number	
4	A3	A04	

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4	02.04.24	REVISED



LEVEL 1
1 : 100

Legend

Masonry Control Joint	CJ
Carpet	CP
Ceramic Tile	CT
Range Hood	RH
Hot Plates	HP
Dishwasher Space	DW
Overhead Cupboards	OHC
Wall Oven Space	WO
Down pipe	DP
Shower	SHR
Floor Waste	FW
Under Bench Oven Space	UBO
Washing Machine Space	WM
Refridgerator Space	REF
Laundry Tub	T
Smoke Detector	SD
Waste & Recycle Bins	BIN
Electricity Meter Box	EM
Hot Water Service	HWS
Air Conditioning Unit	AC
External Yard Tap	Y
Gas Outlet	G

AREA CALCULATIONS	
NAME	AREA
ALFRESCO	12 m ²
GARAGE	43 m ²
GROUND FLOOR	109 m ²
LEVEL 1	103 m ²
PORCH	4 m ²
AREA TOTAL	272 m ²

LEVEL 1 PLAN



client:

SHALES

address:

Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

N	designer	drawn	scale
	EM	DKL	1 : 100
	project number	date	
	DD1832	02.04.24	
revision	sht size	drawing number	
4	A3	A05	

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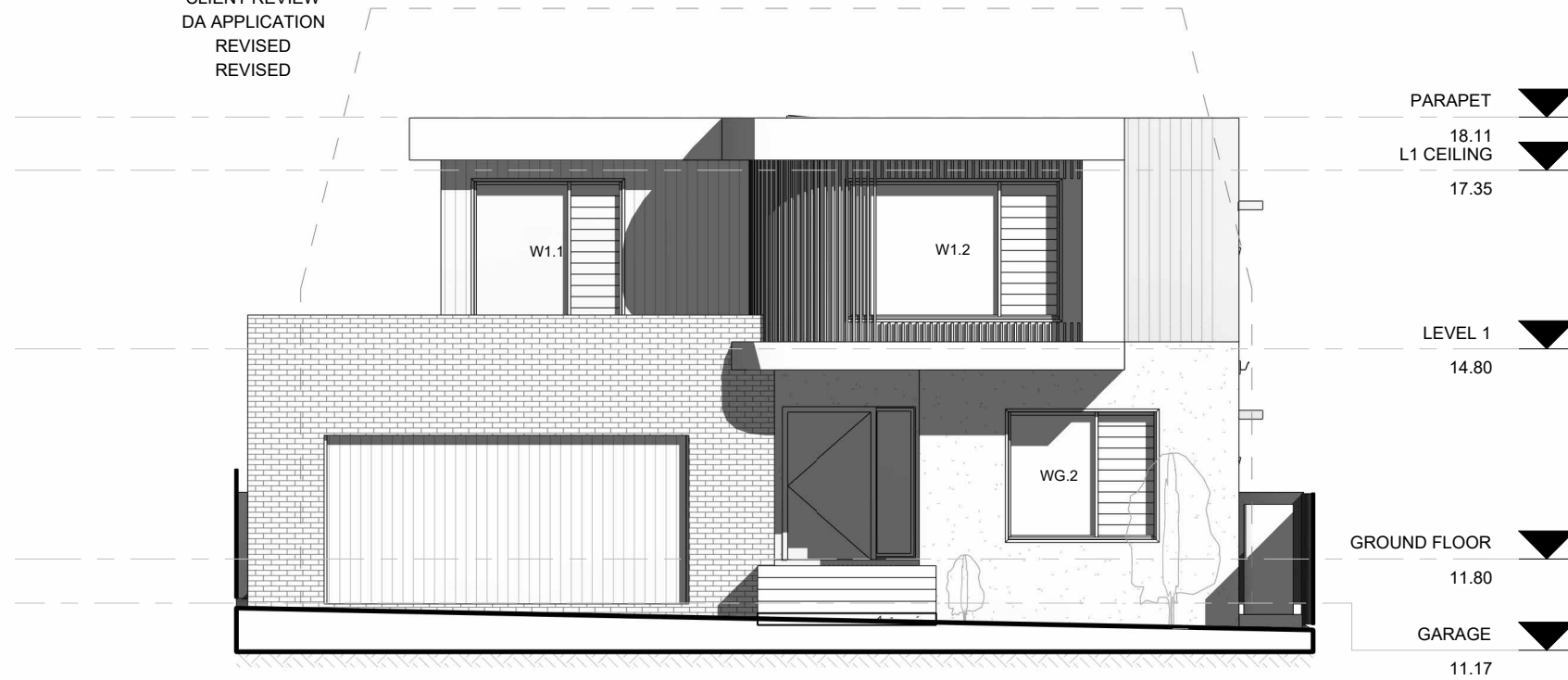
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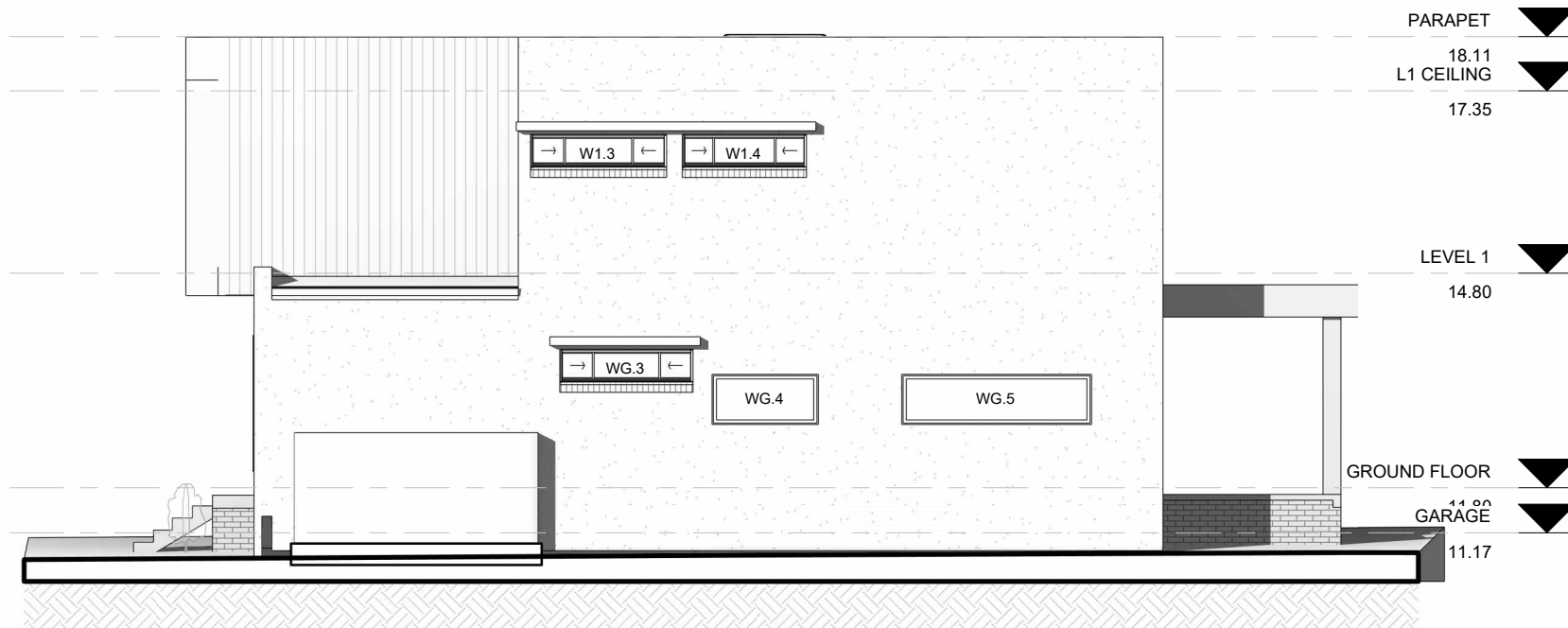
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Amendments

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3	18.01.23	REVISED
4	02.04.24	REVISED



○ WILTON STREET ELEVATION
1 : 100



○ EAST ELEVATION
1 : 100

External Finishes

- Selected Rendered Brickwork
- Selected External Lightweight Cladding
- Selected Colorbond Roof Sheeting @ 15° Pitch
- Selected Colorbond Fascia, Barge Boards & Guttering
- Selected PVC Downpipes to Water Tanks
- Selected Fibre Cement Eave Lining
- Selected Colour Aluminium Framed Windows
- Selected Colour Aluminium Framed Sliding Glass Doors

ELEVATIONS SHEET 1



client:
SHALES

address:
Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

N 	designer	drawn	scale
	EM	DKL	1 : 100
	project number	date	
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revision	sht size	drawing number	
4	A3	A06	

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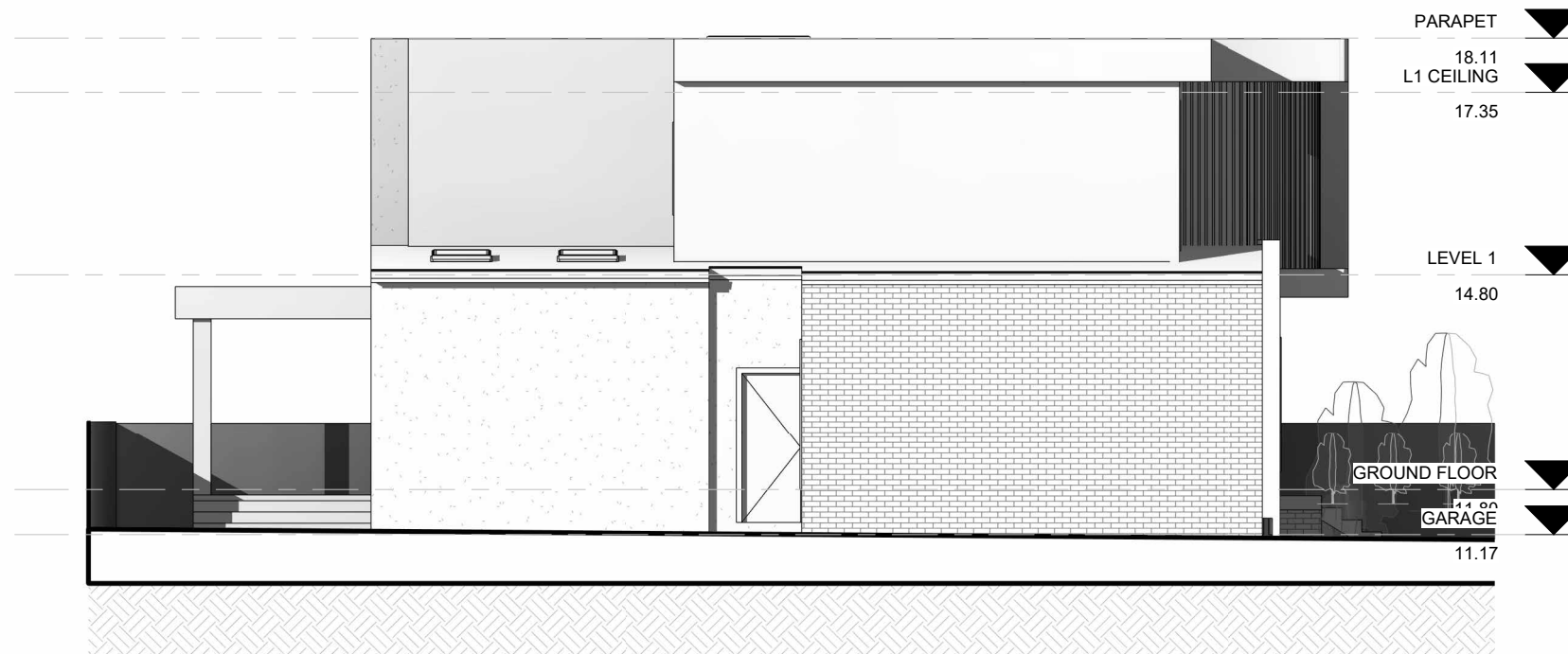
Issue	Date	Description
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3	18.01.23	REVISED
4	02.04.24	REVISED

External Finishes

- Selected Rendered Brickwork
- Selected External Lightweight Cladding
- Selected Colorbond Roof Sheetting @ 15° Pitch
- Selected Colorbond Fascia, Barge Boards & Guttering
- Selected PVC Downpipes to Water Tanks
- Selected Fibre Cement Eave Lining
- Selected Colour Aluminium Framed Windows
- Selected Colour Aluminium Framed Sliding Glass Doors



 NORTH ELEVATION
1 : 100




 WEST ELEVATION
1 : 100

ELEVATIONS SHEET 2



client:
SHALES

address:
Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

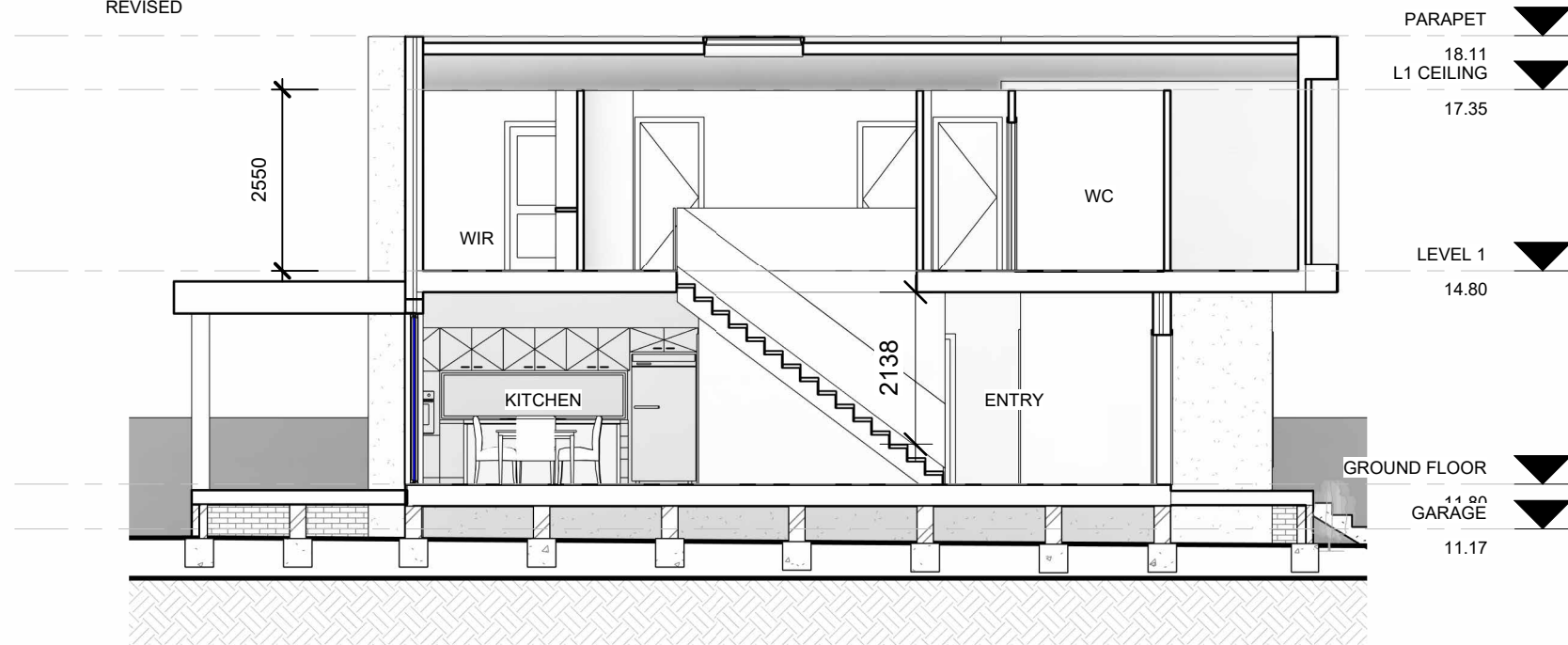
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revision	sht size	drawing number	
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3	18.01.23	REVISED
4	02.04.24	REVISED



A Section A
1 : 100

Construction Details

- Reinforced Concrete Slab & Footings to Engineers Details
- Timber Framed Roof Trusses @ 15° Pitch to Manufacturers Specifications
- Plasterboard Lining To Walls & Ceilings
- Selected Plasterboard Cornice
- R2.5 Insulation to Ceilings Adjacent to Roof Space
- R1.5 Insulation to External Framed Walls
- 55mm Foil Backed Blanket

External Finishes

- Selected Rendered Brickwork
- Selected External Lightweight Cladding
- Selected Colorbond Roof Sheetting @ 15° Pitch
- Selected Colorbond Fascia, Barge Boards & Guttering
- Selected PVC Downpipes to Water Tanks
- Selected Fibre Cement Eave Lining
- Selected Colour Aluminium Framed Windows
- Selected Colour Aluminium Framed Sliding Glass Doors

SECTIONS



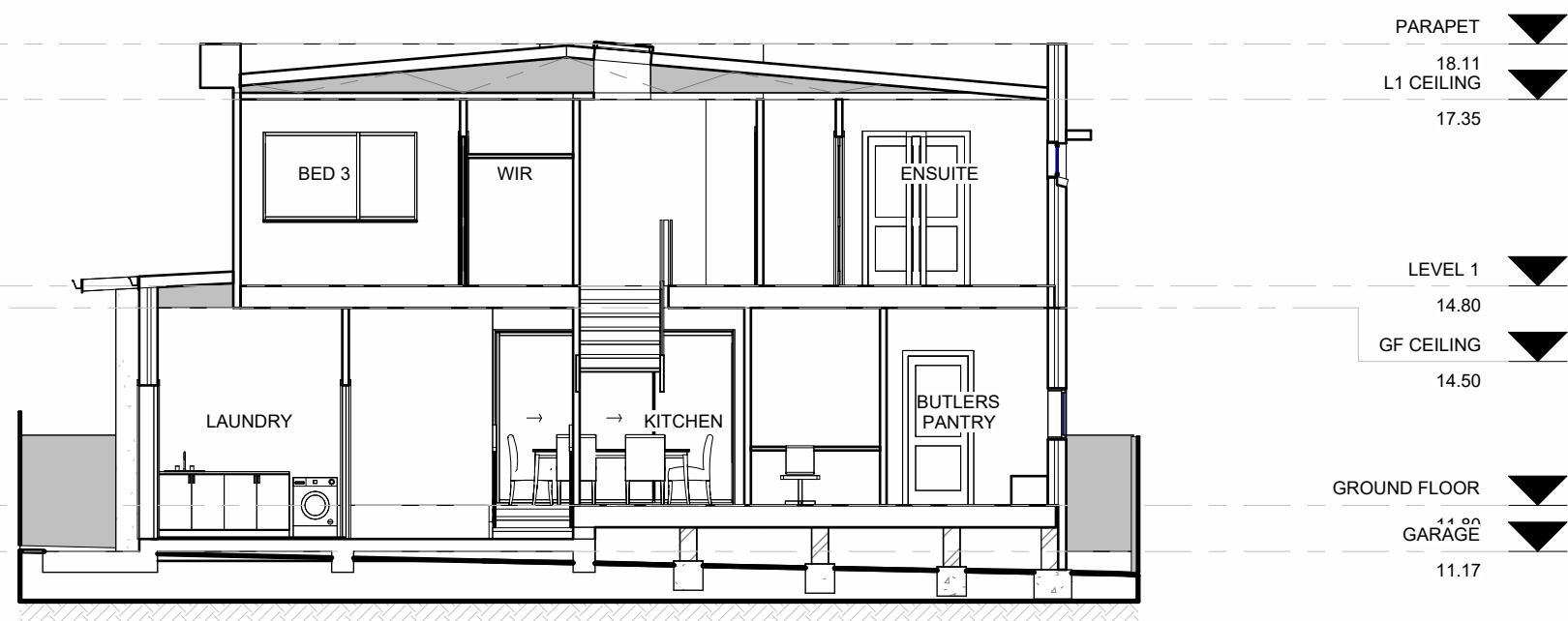
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SHALES

address:
Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

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	EM	DKL	1 : 100
	project number	date	
	DD1832	02.04.24	
revision	sht size	drawing number	
4	A3	A08	

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B Section B
1 : 100



Amendments

Issue	Date	Description
1	11.06.21	CLIENT REVIEW
2	18.12.21	DA APPLICATION
3	18.01.23	REVISED
4	02.04.24	REVISED

Window Schedule								
Mark	Level	Window Style	Height	Width	Head Height	U Value	SHGC Value	Remarks
WG.1	GROUND FLOOR	FIXED GLAZING	2150	610	2176	5.6	0.369 - 0.451	
WG.2	GROUND FLOOR	LOVURE / FIXED	1800	2100	2100	5.6	0.369 - 0.451	
WG.3	GROUND FLOOR	SLIDING	450	1860	1950	5.6	0.369 - 0.451	
WG.4	GROUND FLOOR	FIXED GLAZING	700	1500	1600	5.6	0.369 - 0.451	
WG.5	GROUND FLOOR	FIXED GLAZING	700	2645	1600	5.6	0.369 - 0.451	
WG.6	GROUND FLOOR	LOVURE / FIXED	2100	2400	2400	5.6	0.369 - 0.451	
WG.7	GROUND FLOOR	LOVURE / FIXED	2000	3200	2400	5.6	0.369 - 0.451	
W1.1	LEVEL 1	LOVURE / FIXED	2000	2100	2400	5.6	0.369 - 0.451	
W1.2	LEVEL 1	LOVURE / FIXED	1945	3000	2400	5.6	0.369 - 0.451	
W1.3	LEVEL 1	SLIDING	450	1900	1950	5.6	0.369 - 0.451	
W1.4	LEVEL 1	SLIDING	450	1750	1950	5.6	0.369 - 0.451	
W1.5	LEVEL 1	LOVURE / FIXED	1800	2400	2100	5.6	0.369 - 0.451	
W1.6	LEVEL 1	SLIDING	1200	2100	2100	5.6	0.369 - 0.451	

WINDOW AND EXTERNAL DOOR SCHEDULE



client:
SHALES

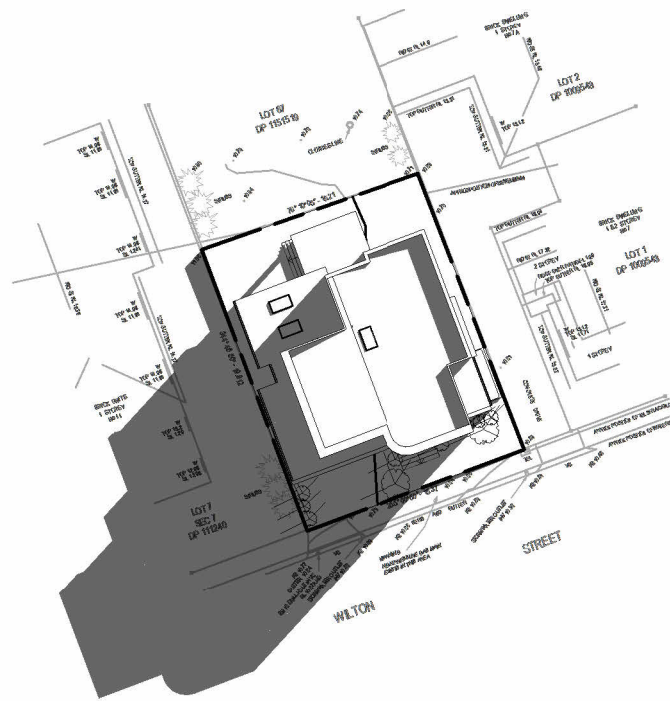
address:
Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

	designer	drawn	scale
	EM	DKL	
	project number	date	
	DD1832	02.04.24	
revision	sht size	drawing number	
4	A3	A09	

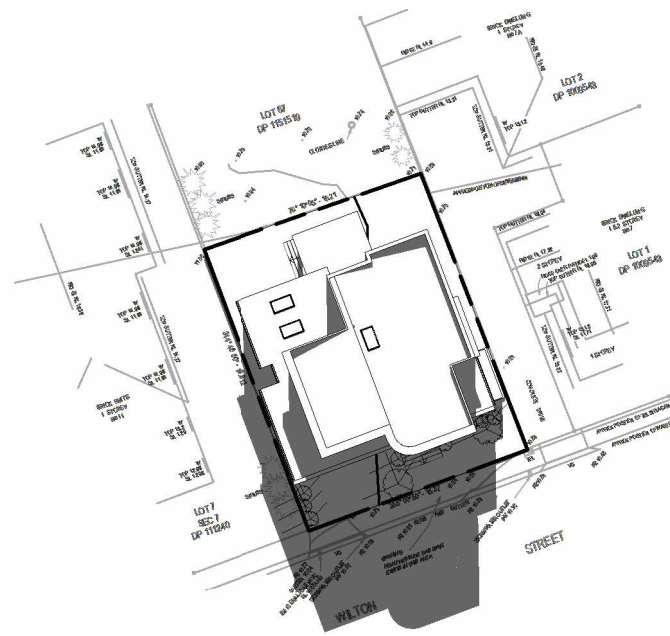


Amendments

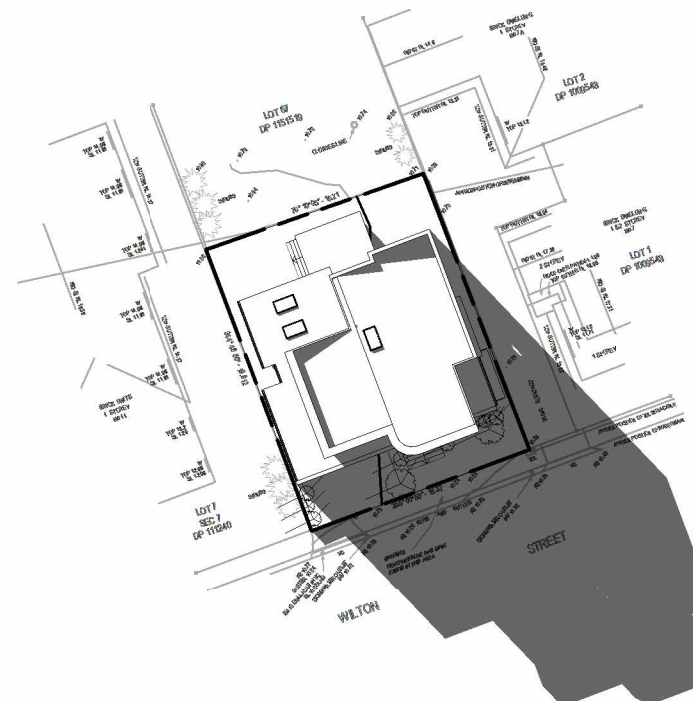
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4	02.04.24	REVISED



○ JUNE 21 9am
1 : 500



○ JUNE 21 12pm
1 : 500



○ JUNE 21 3pm
1 : 500

SHADOW DIAGRAMS



client:
SHALES

address:
Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

	designer	drawn	scale
	EM	DKL	1 : 500
	project number		date
	DD1832		02.04.24
revision	sht size	drawing number	
4	A3	A10	

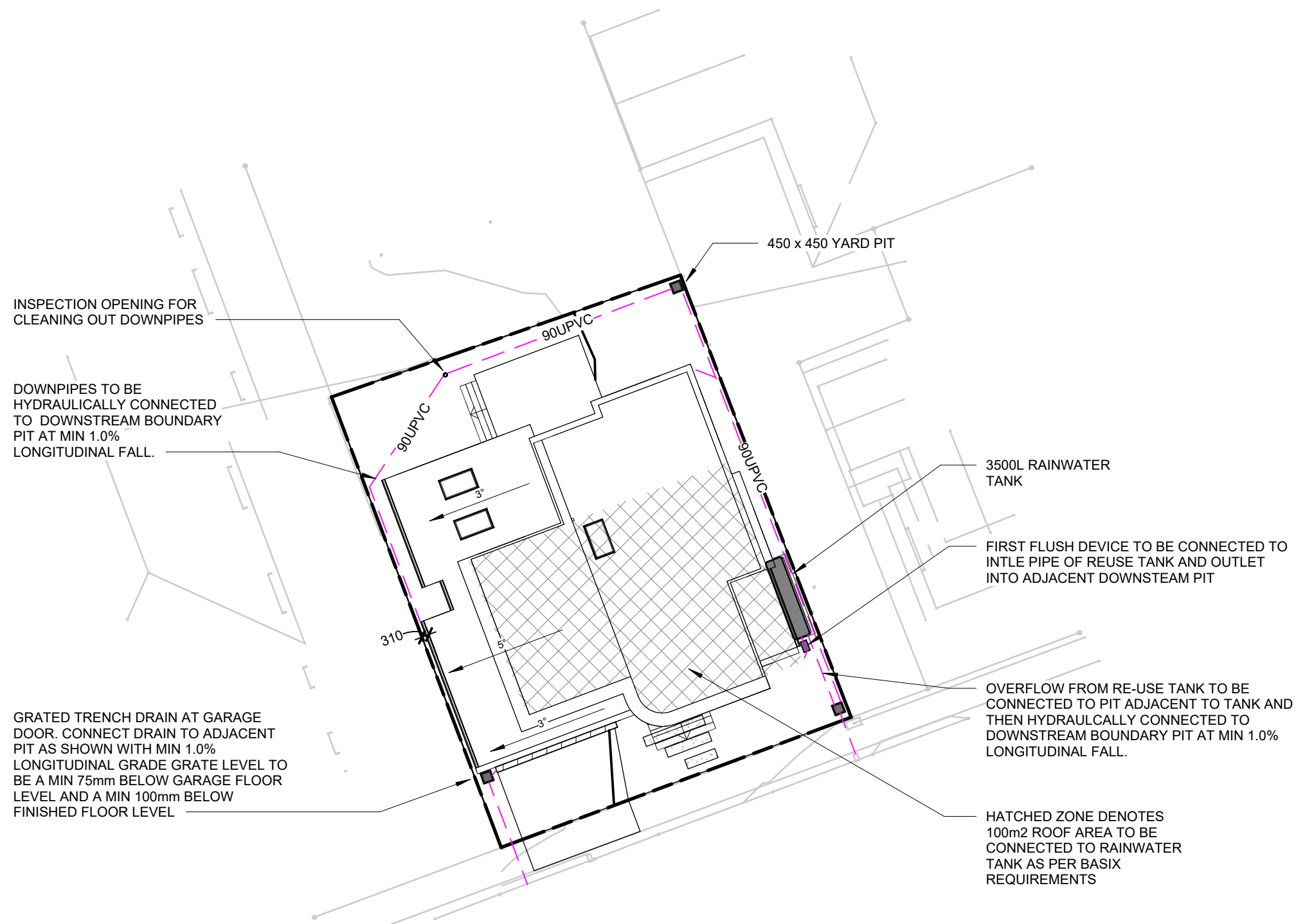
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Amendments

Issue	Date	Description
1	18.12.21	DA APPLICATION
2	18.01.23	REVISED
3	02.04.24	REVISED



STORM WATER MANAGMENT PLAN
1 : 200

13

Legend

Electricity Cable	
Gas Main	
Sewer Main	
Telstra Cable	
Water Main	
Stormwater	
Downpipe	dp
Telstra Pit	TEL
Power Pole	PP
Vehicle Crossing	VC
Sewer Manhole	SMH
Sewer Inspection Cover	SIC
Sewer vent	VENT
Level on Top of Kerb	KB
Water Meter	WM
Gas Meter	GM
Hydrant	HYD
Existing Fence	
Retaining Wall	
Erosion Control Fence	
Private Open Space	
Concrete Driveway & Paths	
Clothes Drying Line	
Waste & Recycle Bins	
Electricity Meter Box	
Hot Water Service	
Air Conditioning Unit	
External Yard Tap	
Gas Outlet	

STORMWATER MANAGEMENT PLAN



client:
SHALES

address:
Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

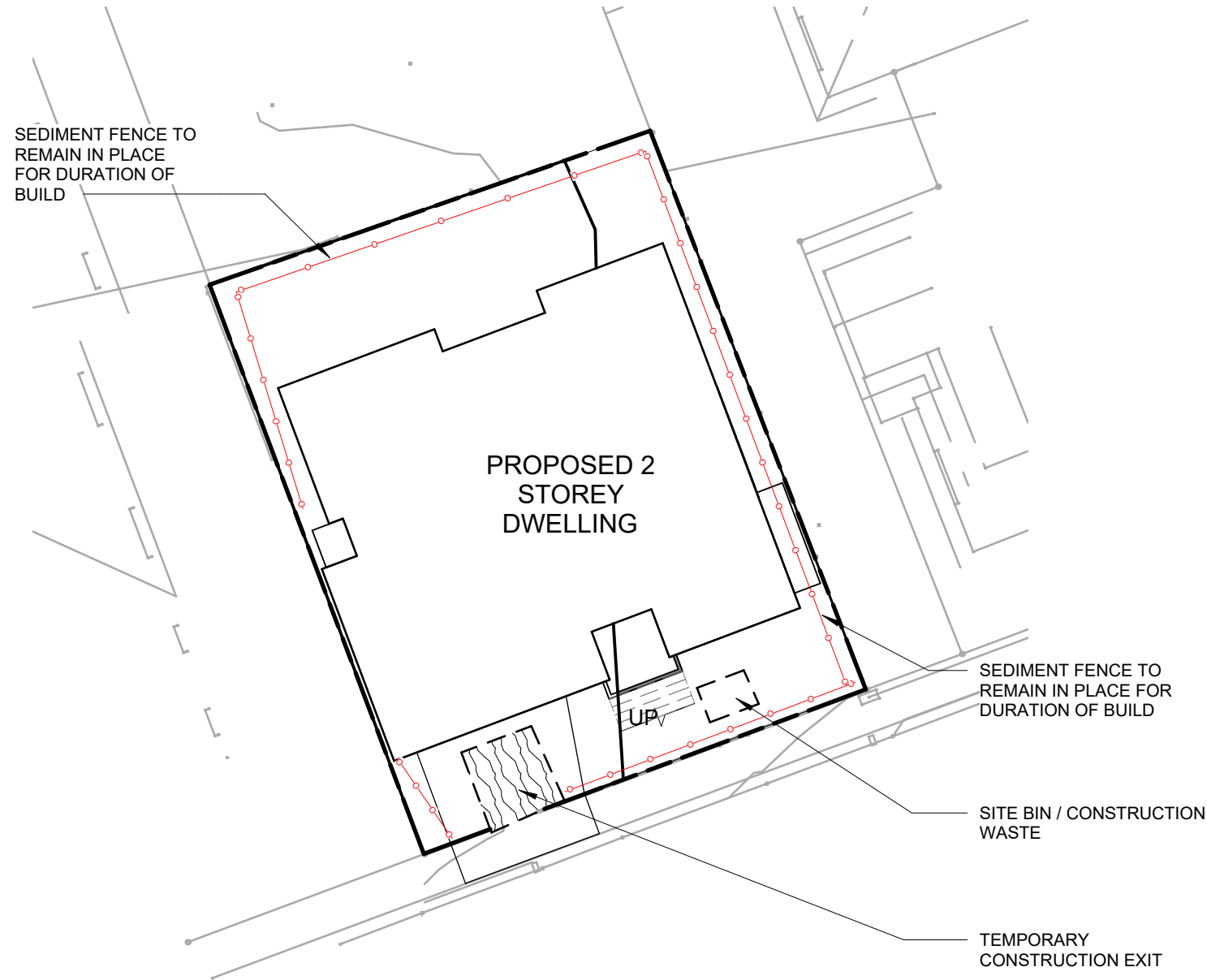
	designer	drawn	scale
	Designer	DKL	As indicated
	project number	date	
	DD1832	02.04.24	
revision	sht size	drawing number	
3	A3	A11	

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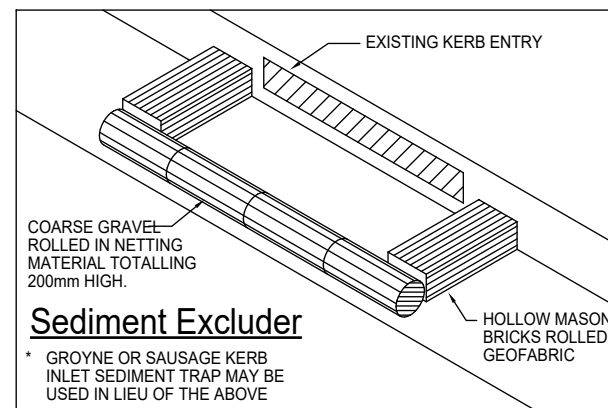
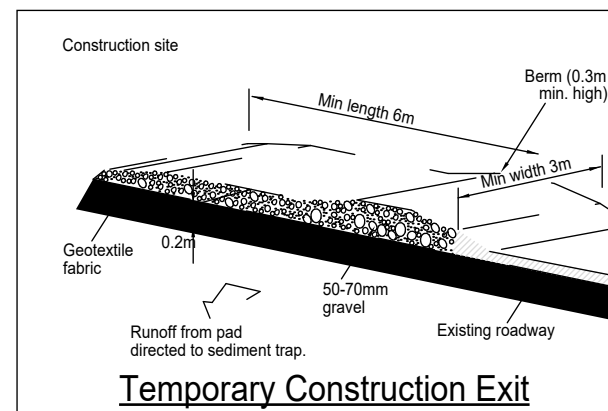
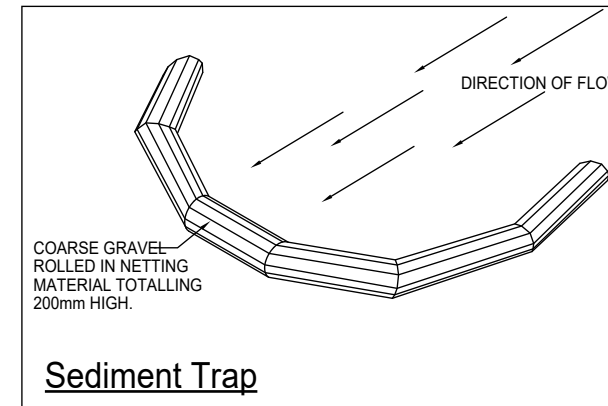
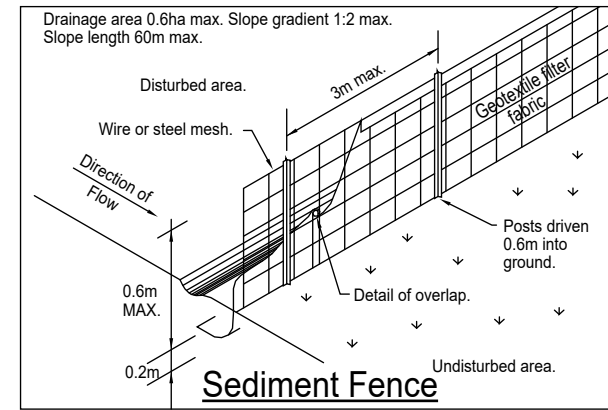


SEDIMENT CONTROL PLAN

1 : 200



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Legend

Electricity Cable	
Gas Main	
Sewer Main	
Telstra Cable	
Water Main	
Stormwater	
Downpipe	dp
Telstra Pit	TEL
Power Pole	PP
Vehicle Crossing	VC
Sewer Manhole	SMH
Sewer Inspection Cover	SIC
Sewer vent	VENT
Level on Top of Kerb	KB
Water Meter	WM
Gas Meter	GM
Hydrant	HYD
Existing Fence	
Retaining Wall	
Erosion Control Fence	
Private Open Space	
Concrete Driveway & Paths	
Clothes Drying Line	
Waste & Recycle Bins	
Electricity Meter Box	
Hot Water Service	
Air Conditioning Unit	
External Yard Tap	
Gas Outlet	

SEDIMENT CONTROL PLAN



client:

SHALES

address:

Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

	designer	drawn	scale
	Designer	DKL	As indicated
	project number	date	
	DD1832	02.04.24	
revision	sht size	drawing number	
3	A3	A12	

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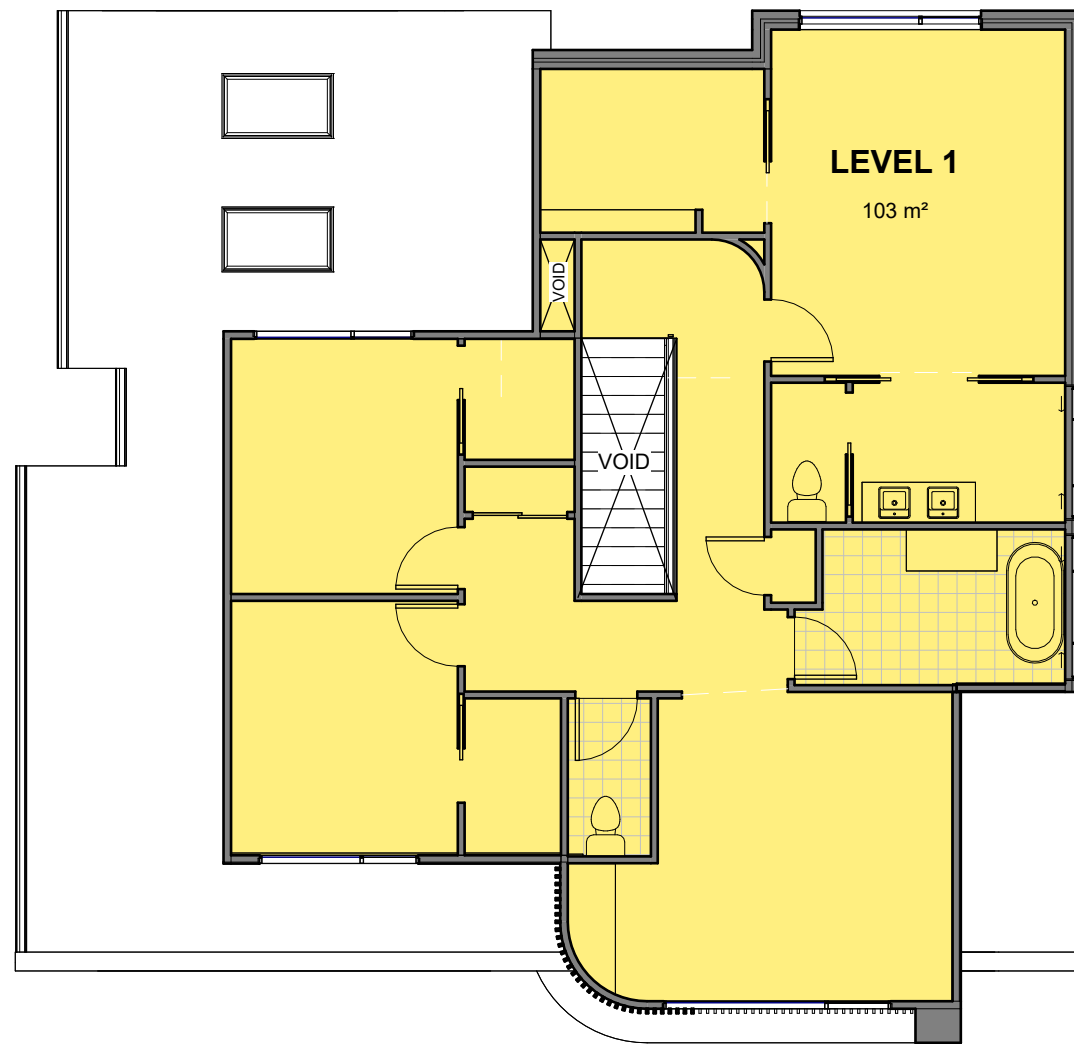
FSR LEGEND		
	FLOOR AREA INCLUDED IN FSR	212 m ²
	FLOOR AREA - NOT INCLUDED IN FSR	44 m ²
	FLOOR AREA - EXTERNAL	16 m ²

FSR Calculations

Site Area:	300 sq.m
Total Living Area :	212 sq.m
Floor Space Ratio :	0.71 : 1 (Total Living Area / A)



GROUND FLOOR AREA PLAN
1 : 100



LEVEL 1 AREA PLAN
1 : 100

FSR AREA PLAN



client:
SHALES

address:
Lot 6 / - / DP1007375
9 WILTON STREET, MEREWETHER
PROPOSED DWELLING

	designer	drawn	scale
	Designer	DKL	1 : 100
	project number	date	
	DD1832	02.04.24	
revision	sht size	drawing number	
3	A3	A13	

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DRAFT SCHEDULE OF CONDITIONS

Application number	DA2023/01050
Land	Lot 6 DP 1007375
Property	9 Wilton Street Merewether
Description of development	Dwelling House - includes demolition

Reasons for approval

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site, and its approval is within the public interest.

Terms and Reasons for Conditions

GENERAL CONDITIONS

Condition

1. Approved plans and documentation

The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Approved plans				
Plan number	Revision number	Plan title	Drawn by	Date of plan
A02	3	Site Demolition Plan	Designed Dimension	02/04/24
A03	5	Site Plan	Designed Dimension	02/04/24
A04	4	Ground Floor	Designed Dimension	02/04/24
A05	4	First Floor	Designed Dimension	02/04/24
A06, A07	4	Elevations	Designed Dimension	02/04/24
A08	4	Sections	Designed Dimension	02/04/24
A11	3	Stormwater Management	Designed Dimension	02/04/24
A12	3	Sediment Control	Designed Dimension	02/04/24

Approved documents			
Document title	Version number	Prepared by	Date of document
BASIX	1269484S_03	Daniel Lawless	09/11/23

In the event of any inconsistency between conditions of this development consent and plans/supporting documents referred to above, the conditions of this development consent prevail.

Condition reason: to ensure all parties are aware of the approved plans and supporting documentation that applies to the development.

BUILDING WORK

BEFORE ISSUE OF A CONSTRUCTION CERTIFICATE

Condition

2. Car park design

Before the issue of the first construction certificate for the development (i.e., whether for part

or whole of a building), full details of the design of the car parking and vehicular access complying with the relevant provisions of *AS/NZS 2890 Parking facilities* are to be documented, with full details included in the construction certificate documentation.

Condition reason: to satisfy car parking and vehicular access standards for vehicles.

3. Vehicular crossings standards

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), full details are to be provided to, and approval obtained or other satisfactory arrangements confirmed, in writing, from Newcastle City Council, pursuant to section 138 of the *Roads Act 1993* for a residential vehicular crossing across the road reserve, in accordance with the following criteria:

- a) Constructed in accordance with Newcastle City Council's A1300 - Driveway Crossings Standard Design Details.
- b) The driveway crossing, within the road reserve, is to be a maximum of 4.5m wide.
- c) Letterboxes, landscaping and any other obstructions to visibility are to be kept clear of or limited in height to 1.2m, in the 2.0m by 2.5m splay within the property boundary, each side of the driveway entrance.
- d) The proposed driveway is to be a minimum of 3.0m clear of the trunk of any tree within the road reserve.
- e) The proposed driveway is to be a minimum of 750mm clear of the centre of any pole or obstruction within the road reserve and 1.0m clear of any drainage pit.

In addition to the driveway, stormwater outlets to the street kerb are to be constructed.

Note: These works are not approved until consent under Section 138 of the *Roads Act 1993* has been granted by the Newcastle City Council.

Condition reason: to require full details of designs in accordance with council's criteria on vehicular crossings.

4. Electric vehicle circuitry and electric vehicle charging point requirements - certain residential

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), details are to be provided of an electrical plan of all off-street car parking spaces, prepared by a suitably qualified and experienced person and including details and specifications to illustrate how the off-street car parking spaces will be constructed with the capacity to install at a minimum, a 'Level 2' (single phase, 7kW power) electric vehicle charger point

Full details are to be included in documentation for the construction certificate application.

Note: This condition does not require the installation of a charging point.

Condition reason: to ensure that an acceptable standard of development is provided in relation to electric vehicle parking and charging.

5. Roads Act Approval

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), a separate application is to be lodged and consent obtained from Newcastle City Council for all works within the road reserve pursuant to Section 138 of the *Roads Act 1993*, or other satisfactory arrangements confirmed in writing from the Newcastle City Council.

Condition reason: to ensure compliance with the *Roads Act 1993*.

6. **Rainwater tank screening**

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), details are to be provided demonstrating that all downpipes discharging to the rainwater tanks will have pre-storage insect, debris and vermin control (e.g. a rainwater head being leaf screened and vermin and insect proof) to minimise the contamination of captured roof water. A first flush device is to be provided for the inlet to the tank. If the roof downpipes are charged to the rainwater tank, all pipes are to be chemically welded and the stormwater system is to be designed such that the system is capable of being flushed in the event of pipe blockage (e.g. capped relief access points at the lowest level of stormwater drainage). Full details are to be included in documentation for the construction certificate application.

Condition reason: to require screening of rainwater tanks.

7. **Stormwater management details**

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), details are to be provided demonstrating how stormwater runoff from the proposed development is to be managed in accordance with the requirements of Section 7.06 'Stormwater' of Newcastle Development Control Plan 2012, the associated Technical Manual and *AS/NZS 3500.3 Plumbing and drainage Part 3 Stormwater drainage*, as indicated on the stormwater management concept plan prepared by Designed Dimension (Drg. No. A11, Issue 3, dated 02/04/24), except as amended by this consent. Full details are to be included in documentation for the construction certificate application.

Condition reason: to control storm water runoff.

8. **Flooding - verifying floor levels**

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), full details are to be provided demonstrating that the ground floor level of the proposed dwelling is to be reduced level 11.8m Australian Height Datum (AHD).

Condition reason: to require verification of proposed floor level heights.

9. **Flooding - requirements below flood level**

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), details are to be provided demonstrating that the whole of the proposed structure below known flood level (11.8m Australian Height Datum) will be constructed in materials and finishes that are resistant to damage from floodwaters/tidal waters. Any new machinery or equipment, electrical circuitry or fitting, storage unit or similar items likely to be

damaged by floodwaters/tidal waters are to be installed above the said height, or alternatively be of materials and functional capability resistant to the effects of floodwaters/tidal waters. Full details are to be included in documentation for the construction certificate application.

Condition reason: to require details of proposed structures, machinery and equipment.

10. **Flood refuge - second storey**

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), details are to be provided demonstrating the second storey of the proposed building is to be a flood refuge in a Probable Maximum Flood event and is structurally certified by a professional engineer, ensuring that the building is able to withstand the hydraulic loading due to flooding from the Probable Maximum Flood (Flood Level reduced level 11.8m Australian Height Datum, Maximum Flow Velocity of floodwaters 1.4m/s). Full details are to be included in documentation for the construction certificate application.

Condition reason: to require location and design of an appropriate flood refuge on-site.

11. **Water tanks and plumbing direction**

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), details are to be provided demonstrating roof water from the proposed new work will be directed to the proposed water tank with a minimum capacity of 4000-litres and being reticulated to any new toilet cisterns and cold water washing machine taps, with a mains water top up being installed to maintain between 10% and 15% of the tank capacity. Alternatively, an electronically activated mechanical valve device is to be installed to switch any new toilet cisterns and laundry taps to mains water when the tank falls below 10% capacity. The water tank and plumbing is to be designed in accordance with the Plumbing Code of Australia (National Construction Code Volume 3). Full details are to be provided with the construction certificate documentation.

Condition reason: to ensure appropriate design standards for water tanks and plumbing applicable to the new work are included at the detailed design stage.

12. **Limiting noise - general**

Before the issue of the first construction certificate for the development (i.e., whether for part or whole of a building), details are to be provided demonstrating that all noise generating equipment such as air conditioning units, swimming pool filters and fixed vacuum systems are designed to protect the acoustic privacy of residents and neighbours, and that all such noise generating equipment is acoustically screened. The noise level generated by any equipment does not exceed an LAeq (15 min) of 5dB(A) above background noise at the property boundary. Full details are to be included in the construction certificate documentation.

Condition reason: to ensure the use of noise generating equipment does not give rise to offensive noise and complies under the *Protection of the Environment Operations Act 1997*.

BEFORE BUILDING WORK COMMENCES

Condition

13. Compliance with Home Building Act (if applicable)

In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance is in force before any building work authorised to be carried out by the consent commences.

Condition reason: prescribed condition EP&A Regulation 2021 (Section 69).

14. Toilets on site

Before building work commences, toilet facilities are to be available or provided at the work site and maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site. Each toilet is to:

- a) be a standard flushing toilet connected to a public sewer, or
- b) have an on-site effluent disposal system approved under the *Local Government Act 1993*,
or
- c) be a temporary chemical closet approved under the *Local Government Act 1993*.

Condition reason: to require provision of toilet facilities on site.

15. Roads Act approval

Before building work commences, a separate application is to be lodged and consent obtained from Newcastle City Council for all works within the road reserve, pursuant to Section 138 of the *Roads Act 1993*, prior to the commencement of works.

Condition reason: to ensure compliance with the *Roads Act 1993*.

16. Erosion and sediment control - vehicle access

Before site work and/or building work commences a 3.0m wide all-weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand or soil is not to be stockpiled on the all-weather vehicle access.

Condition reason: to prevent soil erosion.

DURING BUILDING WORK

Condition

17. Checking building siting

During building work, a Registered Surveyor is to measure and detail the setting out of the

proposed building on the site and upon completion of the floor slab formwork, before concrete is poured, including the relationship of the set-out building to property boundaries, to verify that the siting of the building in relation to adjacent boundaries is in accordance with the development consent.

A Registered Surveyor's Certificate is to be submitted to the principal certifier before construction is commenced.

Condition reason: to confirm siting of buildings.

18. **Compliance with BCA**

Building work must be carried out in accordance with the requirements of the Building Code of Australia.

Condition reason: prescribed condition - EP&A Regulation (Section 69).

19. **Site signage - site and building work**

During site work and/or building work, a rigid and durable sign is to be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:

- a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
- b) showing the name, address and telephone number of the Principal Contractor, if any, for any building work and a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
- c) stating that unauthorised entry to the work site is prohibited, and
- d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, and must be removed when the work has been completed.

Note: This does not apply in relation to building work, subdivision work or demolition work carried out inside an existing building, if the work does not affect the external walls of the building, or Crown building work certified to comply with the *Building Code of Australia* under the Act, Part 6.

Condition reason: prescribed condition.

20. **Excavation and backfilling safety**

During site work and/or building work, all excavations and backfilling are to be executed safely, and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.

Condition reason: to protect the public near worksites.

21. **Erosion and sediment control measures**

During site work and/or building work, erosion and sediment control measures are to be implemented and maintained during the period of construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1* (the 'Blue Book') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.

Condition reason: to prevent erosion and control sediment.

22. Vehicular crossings required - standards

During site work and/or building work, a residential vehicular crossing is to be constructed across the road reserve, in accordance with the following criteria:

- a) Constructed in accordance with Newcastle City Council's A1300 - Driveway Crossings Standard Design Details.
- b) In the case of a single car garage/parking space, the driveway crossing, within the road reserve, is to be a maximum of 3.0m wide.
- c) In the case of a double car garage/parking space, the driveway crossing, within the road reserve, is to be a maximum of 4.5m wide.
- d) Letterboxes, landscaping and any other obstructions to visibility are to be kept clear of or limited in height to 1.2m, in the 2.0m by 2.5m splay within the property boundary each side of the driveway entrance.
- e) The proposed driveway is to be a minimum of 3.0m clear of the trunk of any tree within the road reserve.
- f) The proposed driveway is to be a minimum of 750mm clear of the centre of any pole or obstruction within the road reserve and 1.0m clear of any drainage pit.

These works are not approved until consent under Section 138 of the *Roads Act 1993* has been granted by Newcastle City Council.

Condition reason: to ensure compliance with relevant vehicular crossing standards.

23. Containing materials and plant

During building work, all building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on Newcastle City Council reserves, including the road reserve, is not permitted.

Condition reason: to contain materials and plant and protect the public.

24. Limits on noise

During building/demolition work, generation of noise that is audible at residential premises is to be restricted to the following times:

- Monday to Friday, 7:00 am to 6:00 pm and
- Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

Condition reason: to protect the residential amenity of neighbours.

25. **Pollution prevention signage**

During site work and/or building work, a Newcastle City Council '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the Newcastle City Council for the duration of demolition and construction work.

Note: The sign can be obtained by presenting your development application receipt at Newcastle City Council's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

Condition reason: to require pollution prevention signage.

26. **Containing waste**

During site work and/or building work, and at a minimum, the following measures are to be implemented:

- a) A waste container of at least one cubic metre capacity is to be provided, maintained and regularly serviced from the commencement of operations until the completion of the building, for the reception and storage of waste generated by the construction of the building and associated waste.
- b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets.
- c) Provision is to be made to prevent wind-blown rubbish leaving the site; and
- d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

Condition reason: to require waste management on site.

27. **Checking floor levels - surveyor**

During building work, certification is to be prepared by a Registered Surveyor and submitted to the principal certifier at the following stages of construction:

- a) On completion of ground floor construction, confirming that the floor levels are in accordance with the approved levels.
- b) On completion of each subsequent floor level, confirming that the floor levels are in accordance with the approved levels.

Condition reason: to ensure finished floor levels equal approved plans.

28. Checking retaining walls

During building work, certification is to be prepared by a Registered Surveyor and submitted to the principal certifier on completion of the retaining wall construction, verifying that the location and finished levels of the wall/walls is consistent with the approved plans.

Condition reason: to ensure constructed retaining walls are consistent with approved plans.

BEFORE ISSUE OF AN OCCUPATION CERTIFICATE

Condition

29. Completion of road reserve works

Before the issue of the first occupation certificate for the development (i.e., whether for part or whole of a building), all works within the road reserve required by this consent are to be completed and a practical completion certificate, or equivalent written advice, is to be obtained from Newcastle City Council.

Condition reason: to ensure completion of works within the road reserve.

30. Water management measures complete

Before the issue of the first occupation certificate for the development (i.e., whether for part or whole of a building), the water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational.

Condition reason: to ensure water management measures are as approved.

31. Evidence of correct installation of EV charging

Before the issue of each occupation certificate for the development (i.e., whether for part or whole of a building), the principal contractor or owner-builder must submit to the satisfaction of the principal certifier, certification by a suitably qualified and experienced person that the electric vehicle charger points and/or electric vehicle circuitry, has been installed in accordance with the construction certificate plans and specifications as required by the appropriate conditions of consent that have been included in the determination.

Condition reason: to ensure proposed electric vehicle parking and charging facilities are completed.

32. Relocation of survey monuments

Before the issue of the first occupation certificate for the development (i.e., whether for part or whole of a building), where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated at no cost to Newcastle City Council, by a surveyor registered under the *Surveying and Spatial*

Information Act 2002.

Condition reason: to ensure relocation of survey marks.

33. **Basix implemented**

Before the issue of each occupation certificate for the development (i.e., whether for part or whole of a building), all commitments listed in the relevant BASIX certificate for:

- a) BASIX development, or
 - b) BASIX optional development, if the development application was accompanied by a BASIX certificate,
- are to be satisfactorily completed.

Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be included with Occupation Certificate documentation.

Condition reason: to ensure BASIX commitments are completed.

34. **Public infrastructure - rectification of damage**

Before the issue of the first occupation certificate for the development (i.e., whether for part or whole of a building), any public infrastructure (including all public footways, foot paving, kerbs, gutters and road pavement) damaged during the works (including damage caused by, but not limited to, delivery vehicles, waste collection, contractors, sub-contractors, concreting vehicles) are to be immediately fully repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles, to the written satisfaction of Council, and at no cost to Council.

Condition reason: to ensure rectification of any damage to public infrastructure.

35. **Street numbers - houses**

Before the issue of each occupation certificate for the development (i.e., whether for part or whole of a building), the premises are to be identified by the provision of house numbers on the building exterior and mailbox such that they are clearly visible from the road frontage. The minimum numeral height is to be 75mm.

Note: Street numbering shall be as per the addressing allocated by Newcastle City Council and in accordance with the NSW Addressing Policy and the Australian/New Zealand Standard: Rural and Urban Addressing (AS/NZS 4819:2011).

Condition reason: to require street numbers.

DEMOLITION WORK

BEFORE DEMOLITION WORK COMMENCES

Condition

36. Toilets on site

Before site work and/or demolition work commences, toilet facilities are to be available or provided at the work site and maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site. Each toilet is to:

- a) be a standard flushing toilet connected to a public sewer, or
- b) have an on-site effluent disposal system approved under the Local Government Act 1993, or
- c) be a temporary chemical closet approved under the *Local Government Act 1993*.

Condition reason: to require provision of toilet facilities on site.

37. Erosion and sediment control measures

Before site work and/or demolition work commences, erosion and sediment control measures are to be implemented and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1 (the 'Blue Book')* published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.

Condition reason: to prevent erosion and control sediment.

DURING DEMOLITION WORK

Condition

38. Demolition standards - Australian Standards

Building demolition is to be planned and carried out in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*.

Condition reason: to comply with Australian standards.

39. Containing waste

During site work and/or demolition work, and at a minimum, the following measures are to be implemented:

- a) A waste container of at least one cubic metre capacity is to be provided, maintained and regularly serviced from the commencement of operations until the completion of the building, for the reception and storage of waste generated by the construction of the building and associated waste.

- b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets.
- c) Provision is to be made to prevent wind-blown rubbish leaving the site; and
- d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

Condition reason: to require waste management on site on site.

40. **Demolition - protecting services**

During demolition work, the demolisher is to ensure that all services (i.e. water, telecommunications, gas, electricity, sewerage etc) are disconnected in accordance with the relevant authority's requirements prior to demolition.

Condition reason: to protect services during demolition.

41. **Demolition - material management**

During demolition work, the demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.

Any waste containers used in association with the proposed demolition are to be located on the site where possible.

Note: Where this is not feasible, an application is to be made for the Newcastle City Council's approval to position the container on the adjacent public road in accordance with Newcastle City Council's adopted Building Waste Container Policy.

Condition reason: to protect public spaces during demolition.

42. **Demolition - maximising reuse**

During demolition work, all demolition material incapable of being re-used in future redevelopment of the site is to be removed from the site, and the site cleared and levelled.

Note: Where reusable building materials are to be stored on site for use in future building works, such materials are to be neatly stacked at least 150 mm above the ground.

Condition reason: to require waste disposal and maximise reuse on site.

43. **Demolition - material management**

During demolition work, the demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.

Condition reason: to protect public and private spaces during demolition

44. **Demolition - waste management**

During demolition work, any demolition/waste building materials that are not suitable for recycling are to be disposed of at Newcastle City Council's Summerhill Waste Management Facility or other approved site.

Condition reason: to require waste disposal and maximise reuse on site.

45. **Site signage - site and building work**

During site work and/or demolition work, a rigid and durable sign is to be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:

- a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
- b) showing the name, address and telephone number of the Principal Contractor, if any, for any building work and a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
- c) stating that unauthorised entry to the work site is prohibited, and
- d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, and must be removed when the work has been completed.

Note: This does not apply in relation to building work, subdivision work or demolition work carried out inside an existing building, if the work does not affect the external walls of the building, or Crown building work certified to comply with the *Building Code of Australia* under the Act, Part 6.

Condition reason: prescribed condition.

46. **Excavation and backfilling safety**

During site work and/or demolition work, all excavations and backfilling are to be executed safely, and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.

Condition reason: to protect the public near worksites.

47. **Controlling surface water**

During site work and/or demolition work, any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.

Condition reason: to protect adjacent properties from additional surface water runoff.

48. **Limits on noise**

During site work and/or demolition work, generation of noise that is audible at residential

premises is to be restricted to the following times:

- Monday to Friday, 7:00 am to 6:00 pm and
- Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

Condition reason: to protect the residential amenity of neighbours.

49. **Pollution prevention signage**

During demolition work, a Newcastle City Council 'Prevent Pollution' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the Newcastle City Council for the duration of demolition and construction work.

Condition reason: to require pollution prevention signage.

ON COMPLETION OF DEMOLITION WORK

Condition

50. **Relocation of survey monuments**

On completion of demolition work, where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated at no cost to Newcastle City Council, by a surveyor registered under the *Surveying and Spatial Information Act 2002*.

Condition reason: to ensure relocation of survey marks.

51. **Public infrastructure - rectification of damage**

On completion of demolition work, any public infrastructure (including all public footways, foot paving, kerbs, gutters and road pavement) damaged during the works (including damage caused by, but not limited to, delivery vehicles, waste collection, contractors, sub-contractors, concreting vehicles) are to be immediately fully repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles, to the written satisfaction of Council, and at no cost to Council.

Condition reason: to ensure rectification of any damage to public infrastructure.

Advisory Matters

- A person who is aware or believes that he or she has discovered or located a relic not identified and considered in the supporting documents for this approval, in any circumstances (including where works are carried out in reliance on an exception under section 139(4)), excavation or disturbance must cease in the affected area(s) and the Heritage Council must be notified in accordance with section 146 of the *Heritage Act 1977*. Depending on the nature of the discovery, additional assessment and approval under the *Heritage Act 1977* may be required prior to the recommencement of excavation in the affected area(s).

Note: Heritage NSW can be contacted on 02 9873 8500 or heritagemailbox@environment.nsw.gov.au. A 'relic' is any deposit, object or material evidence that relates to the settlement of New South Wales, not being Aboriginal settlement, and is of State or local significance. It is an offence under the provisions of the *Heritage Act 1977 (NSW)* for a person to disturb or excavate any land upon which the person has discovered a relic except in accordance with a gazetted exception or an excavation permit issued by the Heritage Council of NSW.

- If any Aboriginal objects are discovered which are not covered by a valid Aboriginal Heritage Impact Permit, excavation or disturbance of the area is to stop immediately and Heritage NSW is to be notified in accordance with section 89A of the *National Parks and Wildlife Act 1974 (NPW Act)*. Depending on the nature of the discovery, additional assessment and approval under the NPW Act may be required prior to works continuing in the affected area(s). Aboriginal objects in NSW are protected under the NPW Act. Unless the objects are subject to a valid Aboriginal Heritage Impact Permit, work must not recommence until approval to do so has been provided by Heritage NSW.

Note: Heritage NSW can be contacted on 02 9873 8500 or heritagemailbox@environment.nsw.gov.au. An 'Aboriginal object' is any deposit, object or other material evidence (not being a handicraft made for sale) relating to the Aboriginal habitation of an area of New South Wales, being habitation before or concurrent with (or both) the occupation of that area by persons of non-Aboriginal extraction, and includes Aboriginal remains. It is an offence under the provisions of the *National Parks and Wildlife Act 1974 (NPW Act)* for a person to harm or desecrate an Aboriginal object, with defence from prosecution and certain activities exempt as prescribed under the NPW Act.

- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (i.e. 'on-the-spot fine') or prosecution.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (i.e. 'on-the-spot fine') or prosecution.
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's

expense and to the requirements of Newcastle City Council and any other relevant authorities. Newcastle City Council and other service authorities should be contacted for specific requirements prior to the commencement of any works.

- An application is to be submitted to Newcastle City Council for the removal or pruning of any trees located more than three metres from the dwelling wall, measured from the centre of the trunk to the footings of the dwelling, excluding carports and pergolas.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required from any adjoining owner under the provisions of the *Dividing Fences Act 1991*.
- Prior to commencing any building works, the following provisions of Division 6.2 of the Environmental Planning and Assessment Act 1979 are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and Newcastle City Council is to be notified of the appointment; and
 - c) Newcastle City Council is to be given at least two days' notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to an existing building, any Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for any Occupation Certificate must contain the information set out in Section 37 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021* (NSW).



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PROCESSING CHRONOLOGY

DA2023/01050 – 9 Wilton Street Merewether

8 November 2023	-	Application lodged
15 November - 29 November 2023	-	Application notified in accordance with CN's Community Participation Plan.
24 November 2023	-	Request for additional information
29 January 2024	-	Additional information received from applicant.
1 March 2024	-	Further information requested to correct errors in FSR calculations.
4 April 2024	-	Additional information received from applicant.