

Garden Suburb Hamilton Newcastle

A study of the southern area



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Auction Litho, Garden Suburb Hamilton Newcastle Local History Library, TP N20/51

Report for Newcastle City Council

April 1997

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Summary

How this study arose

On 18 December, 1984 Newcastle City Council adopted 'Development Control Plan No. 14 - Dwelling density and Development Code'. An area of Hamilton South East, developed as the AA Co.'s Garden Suburb, was excluded from the provisions so that its heritage conservation value could be established. The Hamilton South East Conservation Study was undertaken in which it was recommended that the study area, together with adjoining areas of the Garden suburb where brick houses predominated, be identified as a conservation area. The study was exhibited and the recommendations were adopted by Council, who also prepared a small brochure about the area and its conservation, based on similar brochure also prepared by Council about other areas.

In 1995 a house within the conservation area was demolished. This prompted the Council to ask for a review of the Hamilton South East Conservation Area, which had been omitted from the list of conservation areas in the recent comprehensive LEP. This review of boundaries confirmed the significance of the area and recommended a study of the area south of Jenner Parade and east of Gordon and Stewart Avenues, where the houses are mostly timber, with a few brick houses.

This is the study of the southern area of the Garden Suburb Hamilton. (Figure 1.)

The study itself

The study included research of the correspondence of the A. A. Co.'s, held in the Noel Butlin Archive, Australian National University, which was not able to be undertaken previously (Section 2. and Appendix C); and also detailed research using the records of the Hunter Water Board and electoral rolls for Newcastle to identify the builders and early owners of houses. (Appendix E)

The subdivision and sale of allotments was researched (Figure 5.), the location of brick houses (Figure 6.) and the date of houses (Appendix E). The area was surveyed to identify changes that have occurred and the current trends in renovations. This included a survey of the intactness of houses and sections, using the same approach to that used in the 1985 study of the area to the north.

Conclusions of survey

The conclusions from this survey are that few original houses have been demolished or substantially changed eg. beyond recognition (9.5%). Conversely, 90.5 % of the houses are recognisably the same, and 64.9% are intact or repaired sympathetically. It is not as intact as the predominantly brick area north of Jenner Parade.

There is however, a trend to apply new architectural details to houses such as verandah brackets and fences that occur in Sydney houses from an earlier Federation period.

Some streets such as Turnbull Street, demonstrate more consistency in the original houses and in their maintenance. The oldest area, Elliott Street has a greater variety of houses, which have more alterations than the northern streets.

The reason why timber houses predominate in the southern area was not discovered. It might have been an original concept of the design to provide for areas where houses were less expensive. The area west of Gordon Avenue, where the lots are narrower and smaller than those east of Gordon Avenue, may also have been intended as an area for smaller, less expensive houses, producing an overall mix of housing and class.

The area attracted a wide variety of people as owners and small investors. Many builders were active in the area, building their own designs at request or speculatively. R. L. Lee built 24 houses in the area up till 1927, mostly in Cram Street; other builders included Petersham Bros, J Anderson and S Anderson, C. M. & S Drinkwater, and J. L. Saunders.

Heritage significance

The southern area of the Garden Suburb Hamilton is significant for three major reasons:

- as a distinctive and intact part of the Garden Suburb, Hamilton, a high profile popular residential suburb initially designed by the prominent Australian planner John Sulman and executed by the A. A. Company;
- as one of the first examples of estates designed to express the town planning concepts of the Garden suburb in the Newcastle region; and
- for the consistent scale, character and condition of its timber houses, designed and built locally, and which are representative of the timber houses built throughout Newcastle in the 1920s, 30s and early 40s, and which remain in fair to good condition, through the care and interests of their owners.

Whilst the area is significant for its evidence of the history of Newcastle and its relationship between the war housing, it is very different from the areas that have been identified as conservation areas. Also, its conservation requires keeping the houses the way they are, rather than the approach promoted in other conservation areas of applying decorative period details (assumed to have been 'lost').

Recommendations

The recommendations (Section 6, pp 35-37) include that the heritage value and character of the area be recognised by identifying it as an area whose character is worthy of retention. Under the present LEP and DCP provisions, this would be a 'conservation area'; but it is recommended that in later reviews it be a character area, where the emphasis is on not demolishing houses, and promotion, eg by publication of a brochure about its history and development, including information about the builders and owners.

Measures should be introduced in LEP and DCPs to protect its heritage and character: including approval for demolition of any building built before 1960; controls on new development so that is similar in scale, siting and form to the existing houses.

It is also recommended that the Lower Hunter Urban Housing DCP and the Single Dwelling and Dual Occupancy Code be reviewed to include information about the distinctive character of houses in Newcastle and provisions and advice to assist its recognition and protection; and that a brochure be prepared to demonstrate the preferred approach to care of buildings in the Garden Suburb, including the southern area; and that this include advice about researching houses and investigating the fabric of the house; and

New provisions, to protection of the character of select residential areas, through restrictions on scale of development, and whose provisions are not as detailed or restrictive as conservation areas, should be considered for inclusion in LEPs and DCP, and that the southern area of Hamilton Garden Suburb become one of these areas.

Community consultation be undertaken about the southern area of the Garden Suburb, including a display and brochure (including information about builders) and a walk around the southern area

Action should be taken to ensure that the records of the Hunter Water Board are kept and made available for research.

It is also recommended that community understanding of Newcastle houses be promoted by Council working with Newcastle builders and architects, eg by holding a small seminar, and by Council funding the preparation and publication of a book about Newcastle houses, builders and architects. This is also a recommendation of the Newcastle Heritage Study.]

Research about Newcastle houses should be encouraged.

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Figure 3: Ashley Pulver, A.A. Co. Railways and later development n.d. c 1978, from M Walker, Hamilton South East Conservation Study, February, 1986

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Figure 12: J. Sulman, Section of Stewart and Gordon Aves. [Reduced scale] Ref. 131/15/330 Australian Agricultural Company Correspondence, Noel Butlin Archive, ANU

Figure 1: Study area and Hamilton South East conservation area recommended in 1986 and 1996

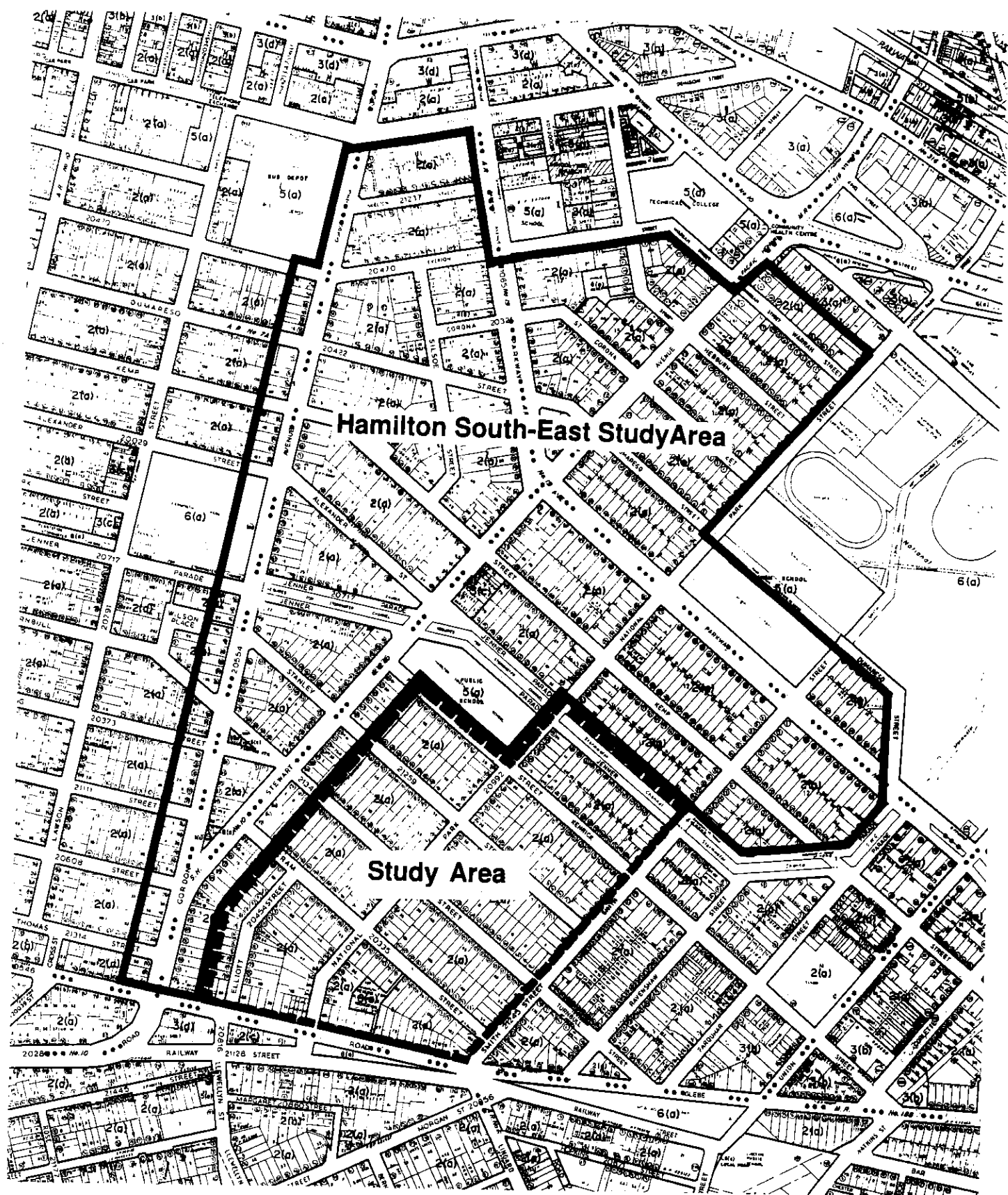


Figure 2: Hamilton Garden Suburb - Poster for first subdivision and sale, 1914.

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Newcastle

85 LOTS.

First Subdivision
AUCTION ON THE GROUND
SATURDAY
May 30th
AT 2.30 pm.

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Auctioneers,
Newcastle.

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Balance in 1, 2, 3, 4 & 5 years.
With interest at 6 per cent.

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1.0 Introduction

1.1 How this study arose

In 1984, when the Local Environmental Plan for Newcastle was being finalised, the zoning of an area of Hamilton South-East remained 'undetermined' because questions about its heritage value had been raised.

Meredith Walker, Heritage Planning Consultant, was engaged to undertake a study of the area. The report, *'Hamilton South East Conservation Study' (part of the A. A. Co.'s Garden Suburb, Hamilton)*, identified the area of the Garden suburb and recommended that the study area, and an area to the north which included the earliest part of the Garden Suburb, also be included. This area included the major avenues - Gordon Avenue, Stewart Avenue and Parkway Avenue; and its houses were predominantly built in the period 1914-1940 and in brick - the result of a combination of promotion, covenants and fashion.

This was the first conservation area based on twentieth century suburban development; all other conservation areas in Newcastle being based on nineteenth century subdivisions and building types, but including some early twentieth century buildings. The identified area of Garden Suburb Hamilton was remarkable for its consistency in building materials, scale, quality and popularity, over several decades, and despite considerable variation in demand due to World Wars 1 and 2 and the 1930s Depression.

Garden Suburb, Hamilton, south of the stormwater channel, where timber houses predominate, was outside the study area was not included because of its character was different from the area under study.

The study was placed on public exhibition and a guidelines brochure was prepared by Council staff based on the report. However, when the LEP for Newcastle was reviewed in the mid 1990s, the Hamilton South-East conservation area was inadvertently omitted from the list of conservation areas.

Towards the end of 1995, number 7 Smith Street, a very intact single storey brick house built in 1930, in the conservation area, was demolished. Concern about the adverse impact of demolition, is understood to have prompted Newcastle Council, at its meeting of 19th December 1995 to resolve that Meredith Walker be approached -

'to review the recommended boundaries of the conservation area identified in the 1986 Hamilton South/East Conservation study and that the recommended boundaries be forwarded to the first possible Council Meeting in 1996 with a view to placing them on public exhibition and incorporating this in an amendment to the LEP.'¹

The issues of concern were discussed with representatives of the staff and the Councillors, and questions were raised about the significance of the area to the

¹ Advice from Newcastle Council to Suters Architects Snell, (Ran Boydell co-ordinator) Newcastle City-Wide Heritage Study.

south where timber houses predominate. The report - 'Hamilton South-East conservation area: review of boundaries' - was completed 5 February 1996². The significance of the area was confirmed and it was recommended that it be included in the list of conservation areas in the Local Environmental Plan. It was also recommended that the southern portion of the Hamilton Garden Suburb be the subject of further study, including research of the records of the A.A.Co., held in Noel Butlin Archive at the Australian National University Archives. The recommendations of the report are in Appendix A.

This study is the implementation of a resolution of Newcastle Council.

1.2 Study aims

The aims of the study are:

- to investigate the history, development and character and intactness of the area adjoining the Hamilton South East conservation area; and
- to assess its significance; and
- to provide advice about conservations measures, specifically the appropriateness for inclusion in the Hamilton South East conservation area, and the controls recommended in the 'Hamilton South East conservation area: Review of boundaries', Report for Newcastle City Council, February, 1996

The field survey methods would be the same as for the initial study in 1985, so that it could be integrated with the original study and the review study.

The brief for the study is in Appendix B.

The area for investigation is south of the recommended Hamilton South East conservation area, i.e. south of Jenner Parade, it includes Kenrick, Stanley, Turnbull and Cram Street. See Figure 1.

1.3 Methodology

The study involved a combination of documentary research, fieldwork and analysis, in accordance with the study brief.

The documentary research comprised:

2 The terms of the study were:

- "1. Review of the area to assess what changes have occurred since the fieldwork was undertaken, and identify any current trends, and take photographs of a sample of houses;*
- 2. Discussion with town planning and building departments about the types of applications and their consideration over the past twelve years. [It would be desirable for Council to make a list of these and a brief description if possible -such as an extract from the application registers.]*
- 3. Discussion with Council town planners about the likely controls, having regard to current concerns, heritage controls in other areas, and the new residential code, etc.;*
- 4. Review of conservation area boundary, together with controls and suggestions about assessing applications and the public exhibition; and preparation in the form of a brief report. "*

- research in the Local Studies Library of the Newcastle Regional Library, and the Mitchell Library, State Library of New South Wales; and
- research of the A. A. Company papers in the Noel Butlin archive at the Australian National University .

Early owners and builders

A combination of sources were used to research the date of houses, the early owners and their occupation, and the builders. The method of fieldwork and analysis for the study was the same as for the original study in 1986.

All the Garden Suburb Hamilton was 'sewered' before it was sold. The date of connection to the sewer marks the approximate date at which a house was first occupied, and the application for connection (numbered chronologically in the records) marks the beginning of house construction. In the 1920s and 30s, the time taken to construct a house was generally shorter than nowadays.

The Hunter District Water Board Detail Plans for Newcastle (1980 and 1985) were used to compile a list of the connection number for each allotment and entered on a data base. The list was sorted into numerical order. Each number was searched in the sewerage register and the details - owner, occupier, type of building, date of application, date of connection to the sewer - were entered in the data base. This was done for all the properties where application was made for connection prior to July 1927 (the volume of the register held in the Local History Library). The later volumes, for July 1927 onwards, held by Hunter Water, were not researched because of limited funds.

1.4 Limitations

The limitations of this study are the limitations for the information available. Since the original study, research has been undertaken of the A. A. Co.'s records at the ANU. This has revealed some interesting information about the early history of the area including some correspondence between Sir John Sulman who prepared the initial design and the A. A. Co. Despite this work, and research and analysis about the first owners and the builders, several questions about the Garden suburb have not been entirely answered; for example, why some aspects of the Sulman design were not followed; and why timber houses predominate in the area south of Jenner Parade. Only serendipitous discoveries are likely to answer such questions.

This study is based on research, Field work and analysis for this area, comparison with the area identified in 1985. Comparison with other parts of Newcastle developed in the 1920s and 30s, and where timber houses predominate, is limited. Detailed study of these areas and research about their development is likely to reveal other areas with consistency in house styles and appreciated by their residents for their architectural character.

The Newcastle Heritage Study will provide information about likely areas of significance.

1.5 Study team

The study was undertaken by Meredith Walker, heritage planning consultant, who also wrote this report, and directed the research and field work to which others contributed as follows:

- research in the Australian Agricultural Company records held in the Noel Butlin Archives Centre, Australian National University was undertaken by Patricia Kumar;
- research about the first owners and builders of houses, using the records of the Hunter Water Board, electoral rolls and postal directories (Appendix E), was undertaken by Elizabeth Wright and Marilyn Hey of Newcastle;
- assistance with field work and research of auction lithos was undertaken by Janice Cave, as part of the requirements for practical experience of the Masters in Built Environment (conservation) University of Sydney.
- the letters associated with the design of the Garden Suburb, Appendix C, (some of which were unsuitable for photocopying) were typed from the originals by Carol Norton-Smith.

2.0 Garden Suburb Hamilton

2.1 Short description⁴

The Garden Suburb Hamilton was developed by the A. A. Co. in the period 1913-mid 1930s.

The extent of the Garden Suburb, Hamilton is shown in Figure 2. The name Garden Suburb Hamilton appears to have been applied to that area of land between the already subdivided areas of The Junction, Cooks Hill and Hamilton, which were expanding at their edges. Its boundaries do not appear to have been clearly defined, and the full extent may only be ascertained by discovery of further auction lithos advertising the land as part of the Garden Suburb, Hamilton.

2.2 Before the Garden Suburb

The Australian Agricultural Company (A. A. Co.) owned all of the land around the early town of Newcastle. The land was used primarily for coal mining but also for manufacturing. As land in the town developed, the A. A. Co. recognised the need to sell the nearby and adjoining land otherwise the growth of the town would be limited. Cooks Hill and The Junction developed from the subdivision and sale of A. A. Co. land.

The land west and north of the Junction across to Hamilton, used for mining by the A. A. Co., became the Garden Suburb, Hamilton, Figure 2. The A. A. Co.'s railways and later development, is shown in Figure 3, prepared by Ashley Pulver, son of Worters Pulver - chief surveyor for the A. A. Co. when the Garden Suburb was created.

The land at the surface of the mined area was used for low impact recreational uses including a golf club and a racecourse.

2.3 Design

The A. A. Co. engaged John Sulman, the architect and town planner, practising with in conjunction with John Hennessy to plan the Garden Suburb. The existing pattern of roads nearby appears to have been a major factor in the design. Indeed, it is likely that the pattern of roads and lots west of Gordon Avenue had already been determined, as had the pattern of roads at the Junction, where the position of Smith Street had already been determined.⁵ So the task was to link the two patterns.

⁴ This is adapted from the 'short description' in M Walker, Hamilton South East Conservation Study, 1986.

⁵ In these areas the lots and streets are the same size and pattern as those developed some years earlier and the section are identified by letters, whereas in the 'newer' areas the sections are numbered.

The only record of the original Sulman plan is a schematic drawing in the auction poster and brochure. Correspondence between Sulman and the A. A. Co. reveals some further details:

- the clay pits were proposed as children's playgrounds and model boat ponds (in part because of the low level of the land);
- the footpath / verge, between the road surface and the front property boundary, were proposed at 14 feet, rather than the then common standard of 12 feet.

The plan of the Garden Suburb was exhibited in the window of Palings Music Warehouse in mid 1913, at the time of its submission to the Hamilton Council. Alexander Richter, of 106 Bruce Street, Newcastle, sent a four page letter, and colour plan on cartridge paper, to J. S. Christian, General Superintendent of the A. A. Co., on the understanding that he invited suggestions on the plan⁶. Mr Richter proposed the introduction of two large circular spaces, at the awkward intersections of Stewart Avenue with Gordon Avenue and Parkway Avenue, with shops and public buildings facing the circle, with a road island and monument in the centre. The scheme is reminiscent of monumental urban designs in Europe and might also have been inspired by Walter Burley Griffin's plans for Civic in Canberra, on a much reduced scale.

Mr Ritchie also suggested that the prohibition on fencing would be impracticable because of straying animals, and that to 'establish a pleasing uniformity, so as not to offend the artistic eye, all lawns have iron palisade fence, set in a polished granite or brachyte kerb, and no more than 4.5 ft high'. None of his suggestions were adopted and there is no record of a letter in reply. Mr Richter's letter is in Appendix C.

The final design featured three avenues, each envisaged as major roads with avenue tree planting: Gordon and Stewart Avenues, each 100 foot (1.5 chains, 30.3m m wide) and Parkway Avenue, 132 ft wide (2 chains, 40 m), which was to provide ready vehicular access to the beach. The other roads were standard width reservations of 66 ft (1 chain, 20 m).

Within the reservation for standard width roads, Sulman proposed that the footpaths on either side of the road itself be 16 feet wide. Mr Christian commented " We trust this is not a material point to the new design as the local custom is 12 ft footpaths, and local Councils might demur at an alteration."⁷ Mr Sulman argued in response:

.... I am quite aware that it is not the usual custom, which is 12 ft, but the sooner the latter is abandoned, the better I think it would be for both the Councils and the public; for the Councils because it would save in metalling if the street is to be metalled all over, and for the public because it reduces dust, and for both because it permits of the planting of trees at any time in a suitable

⁶ Letter from Alexander Ritchie to J. S. Christian Esq., 26 June, 1913. See Appendix C.

⁷ Letter from Mr J.C. Christian, General Superintendent A.A.Co. to John Sulman, 13 March, 1913.

position, whereas 12 feet does not. I have not had any difficulty elsewhere in getting approval to a 16 ft footpath, especially when the advantages of the same are pointed out to the local officials. A 34 ft roadway is ample for any traffic that the ordinary 66 ft subdivision road is likely to carry.

There is no further record of the matter, but the footpaths were constructed at 12 feet width, and it is likely that when detailed approval was sought for each part of the suburb, the A. A. Co's. surveyor adopted the Council's standards.

2.4 Subdivision, sale and house building

The Garden suburb was subdivided and sold from 1914 to the mid 1930s. The first sale, May 30, 1914, was 85 lots at the northern end, near Gordon Avenue. Stone pillars in the Gordon Street median strip marked the entrances, but have since been removed to Learmonth Park, for traffic management reasons.

A brochure describing the suburb and its qualities was prepared, including designs for the type of houses envisaged, which could also be arranged through the company. To serve as examples, two brick houses, designed by the Newcastle architect, F. G. Castleden, were erected in Gordon Avenue, at the s.e. corner of Dumaresq Street, and the n.e. corner of Kemp Street, and these were also offered at the first sale. In 1916, the company built two timber houses, also illustrated in the brochure, at the southern entrance to the estate, on the corners of Gordon Avenue and Glebe Road. The houses built by the A. A. Co are still standing.

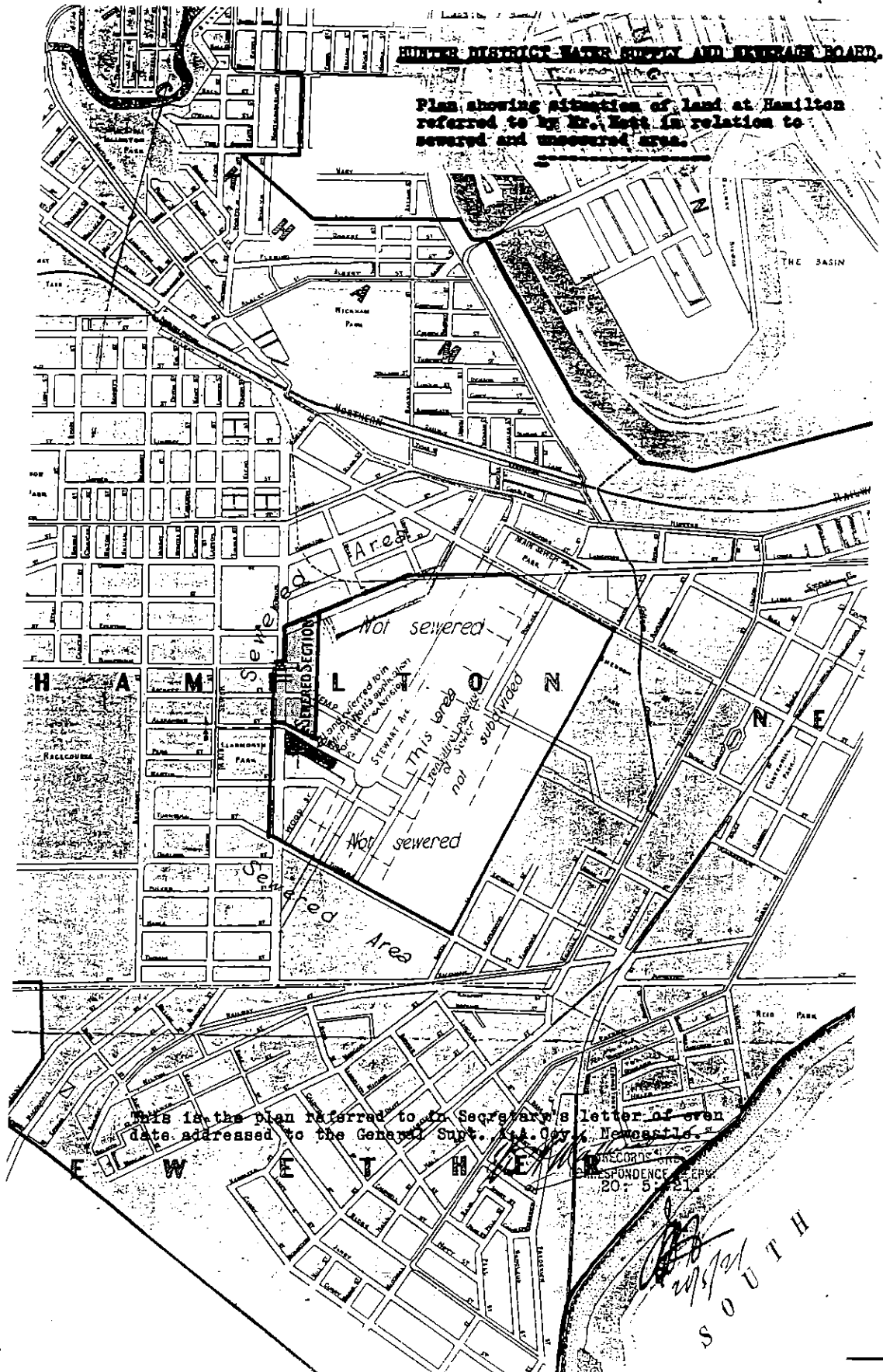
The second sale, in 1915, was land near the southern entrance, west of Gordon Avenue, from Glebe Road to Harle Street, followed by land west of Learmonth Park. In general, the Garden Suburb developed progressively 'inwards', from the first sales in the north and from the sales in the south, with the land in the middle (alongside Jenner Parade and Parkway Avenue) being the last areas to be developed. Development proceeded in a piecemeal fashion, probably dictated by a combination of the Company's circumstances, demand for land, and availability of connection to the sewer.

Whilst the A. A. Company had submitted an overall master plan it apparently also wanted to keep its options open, both for the detailed subdivision and also land use. The release of land and its development was preceded by the submission and approval of small subdivisions, the extension of the sewerage system, road construction and then sale. Each sale, offering the land for sale by auction, in groups of around 10 - 20 lots. If not sold at auction, the land was offered for sale by private treaty, or included in a subsequent auction.

The area connected to the sewer in 1922 is shown in figure 2, prepared as part of the A. A. Company's consideration of the Hamilton Council's application for a residential district proclamation. Residential districts were an early form of zoning in which restrictions were based on land uses within a residential area, so that amenity could be assured; industrial and commercial uses were usually prohibited and in some residential districts buildings were required to be brick.

Figure 4: Hunter District Water Supply and Sewerage Board - Plan showing situation of land at Hamilton referred to by Mr Nott. in relation to sewered and unsewered area.
 [A.A.Co. correspondence 131/15/342 Noel Butlin Archives, Australian National University]

NB. This plan shows the unsewered area in white at 20 May, 1921. It accompanied a letter from the Board to the A.A.Co explaining that a small group of allotments could not be sewered without extensive new works. The plan also shows the semicircular end of the planned open space in Stewart Avenue that was not implemented.



Some of the Garden Suburb was apparently already the subject of a residential district proclamation when this area was nominated. The A. A. Company did not initially support the proclamation, because it might limit the options for commercial development⁸ in the future.

The development of houses followed the sale of land. On some lots, construction started within a few months of sale, but others were not developed for several years. The majority of lots were developed within five or six years of sale and the area as a whole was mostly developed by the mid 1930s.

2.5 History in the context of Newcastle

The Garden Suburb Hamilton was a notable suburb in the history of Newcastle for several reasons: it occupied a prominent area of land between the city centre and Hamilton and the Junction and close to beaches, it was one of the last major mining areas to be developed; and it created and sustained good sales and hence a good standard of building. In short, it was popular.

Stephen Docherty, in *Newcastle: the making of an Australian city*, (Hale and Iremonger 1983) describes the forces which shaped the pattern of development of the Newcastle suburbs. The history of coal mining had left the majority of land in large private holdings, one of which was the A. A. Company's land, which extended from Hamilton to the beach.

"Three devices were often used in land sale policies: the donation of land for a park thus creating a focus for the subdivision of an area; the attempted allocation of particular social groups to certain planned areas; and the use of advanced town planning designs to promote land sales."

The A. A. Company used each of these devices, which together with the outstanding location and the practice of regularly releasing only a limited numbers of lots, kept supply in close relationship to demand, and hence the area remained popular.

The A. A. Co. donated two low lying areas of land for parks: Learmonth Park (in response to a request from Hamilton Council) and the land which became National Park. Both areas were low lying and not well suited to building without fill. [Other small low lying areas, including old clay pits, were shown as open space on the original plan, but the majority were removed to create more building land.]

The noted architect and town planner, John Sulman was engaged to design the suburb and the estate was actively promoted as a model example of town planning especially in the initial advertisements and brochure. Although it should be noted that several of the planned features and standards were not

⁸ Letter from A.A. Co to Hamilton Municipal Council

followed through in the actual development of the suburb. The large shopping centre around a park in Stewart Avenue, was reduced to a small group of shops without the park; some of the small parks became allotments, and the width of footpaths was reduced to conform with Council's standard.

The attempted allocation of 'particular social groups to certain planned areas' is not so clear. There is nothing in the remaining documentary records (Council or the A. A. Co.) about planning for different social groups, which might have been implied by standards of the design, such as the size of allotments, the distance of the building line from the front boundary, or by inserting clauses (covenants) in the contract requiring (say) brick for outer walls and minimum size or cost of houses.

The A. A. Co's standard sale contract has spaces to insert such requirements, and older residents believe that building in brick was a covenant requirement.

The company might have been implying a difference in cost or social groups by its demonstration houses. It built two brick houses at the northern end of Gordon Avenue and two weatherboard houses at the southern end. The early houses in both the north and the south were brick; but in the south, away from Stewart and Gordon Avenues, the houses are predominantly timber. There are several hypotheses about why this is so, for example:

- only the houses faces Gordon Avenue and Stewart Avenue were required to be brick, with the remaining southern area unrestricted;
- owners or builders may have broken the covenant, without reprisal from other owners or the A. A. Co;
- the southern area was unrestricted in relation to material of houses.

A search of a large number of covenants would be needed to test these hypotheses.

Whilst timber houses predominate south of Jenner Parade, there are a significant number of brick houses, similar in quality to those in the northern part of the Garden Suburb. These houses appeared to have been built (commissioned) by individual owners rather than builders for speculation.

Notes accompanying letter from John Sulman to The Superintendent, A. A. Co. Newcastle, 15.1.1913. (transcribed)

OUTLINE NOTES RESPECTING THE LAYOUT OF THE A. A. COMPANY'S SUBDIVISION AT NEWCASTLE

1. The controlling factors in the Subdivision are the permanent roads named Dumaresq Street and Turnbull Street, which cross the property, and the roads which bound the property. Also the surface water drain and the small gully in connection therewith. The line of the main sewer is also another factor.
2. The schools in the surrounding districts are fairly distributed, but are only sufficient for the actual population thereof. A new public school will therefore be required, and the central point between all the existing schools is a little north of the storm water drain towards the western side of the subdivision.
3. For some time to come the subdivision will have to obtain access to Newcastle by the existing trams in Hunter Street and Melville Street. Eventually, it is probable a tram may be run into the subdivision from one or other of these streets, hence there should be a main avenue from each direction, the Hunter Street one being in our opinion the most likely. As Stewart Street is the only line of access that would not conflict with the levels of the Company's railway, the principal avenue is a continuation thereof, at right angles to Dumaresq and Turnbull Streets, meeting Gordon Street about half way along the extension block of the subdivision on the west.
4. The focus of the subdivision is a rectangular open space with rounded ends forming a small reserve or park. On each side of this are shops, and at each end, public buildings. The school occupies a whole block. The main avenue is proposed to be 100ft in width and planted with trees. Kemp Street being the best outlet for access to the baths on the beach, it has been continued across the subdivision in a straight line to the opposite side. Between Kemp Street and Turnbull Street the space has been laid out with parallel roads, giving depths of a little over two chains. To the blocks between Kemp Street and Dumaresq Street the depths are two and a half chains, still leaving space for a parkway avenue two chains in width, which it is suggested should be planted with trees and grassed in the centre and thus form a striking feature of the estate. This avenue is diverted where it meets the main avenue to connect with Myra Street leading to the tramline.
5. It will be noted that any ground at a lower level than 10ft we suggest should not be built on unless filled up at least to that level. The treatment of the gully and water channel with the surrounding low land at the eastern end of the site we leave for further consideration. On the whole we think the water channel had better follow fairly closely its present line, as any diversion along Darling Street and across the subdivision would not be only more costly but less convenient. Where the channel leaves Martin Street, it could either be carried under one of the new streets in tunnel, or between the back of the allotments in open channel. In the school site it might be left open, and also if straightened could run between the allotments in the adjoining block to the east.
6. The clay pits have been turned into children's playgrounds and model boat ponds. The overflow from these will not be large and could be carried along the street channels.
7. We have assumed that the hill on the south west corner of the site will be cut down to the general average level, hence a road has been inserted with allotments two chains in depth backing on to the cliff that will thus be formed against the Glebe Road.
8. The remaining portions of the estate are cut up in the most economical way so as to obtain the greatest amount of frontage and the fewest acute angles. It will be noted that small public gardens are shewn in the main avenues and subordinate streets in order to relieve the monotony of the same. They will cost but little to form and will give added value to the whole of the frontages, and are especially applicable where there is an excess of depth in the allotments.
9. The north and south street parallel to the main avenue where it intersects cross streets, is treated by cutting off the corners or cutting into them for the purpose previously indicated. In one case it is suggested that cottages of special design should be erected so as to face both streets, and thus relieve the monotonous effect of side frontages and side fences.
10. Should a special tram line be run into the estate at any time, the main avenue north and south, and the parkway avenue east and west, offer special facilities for the same.
11. The depth of the allotments varies from two chains to two and a half chains, and the frontages we suggest should vary from 40ft to 66ft and especially that corner allotments should be at least 10ft wider than the adjoining allotments to allow of the cottages being set back to that extent on the return frontages.
12. The roads are so planned in relation to the levels that no difficulty will be experienced with surface drainage.

2.6 Comparison with other suburbs

In the period of the development of the Garden Suburb, many other suburbs in Newcastle were also developing. Vacant land in earlier subdivisions such as Wickham and Maryville was being built on, and new estates were being developed, especially in the outer areas. Few, if any of the new estates followed the practice of the A. A. Co. of releasing land on a regular basis; the more common practice was to offer very large numbers of lots, many of which were bought for long term investment or land speculation, and many of which remained vacant until the 1950s.

The result of this practice is that many lots in the estates contemporary with the Garden Suburb Hamilton, have an obvious variety of age of houses. Where group of similar or identical houses occur it is likely the result of builders buying a group of lots and building for speculation.

The builders operating in the garden suburb were also operating in other areas of Newcastle, with the result that the designs in the garden suburb also occur in other areas, and sometimes sited closer to the street, as in Maryville, or on larger lots, as in Lambton.

The proximity to the city centre, combined with the promotion as a high quality area and the gradual release of land, kept the Garden suburb popular and compared with other estates, land was developed within a couple of years of first sale. As a result the suburb is very consistent in the scale and quality of its houses, with a gradual transition from early 1920s (at northern and southern ends) to late 1930s alongside the drainage canal at Jenner Parade.

Figure 5: A A Co. Garden Suburb, Hamilton southern portion Land sales 1914-35
 Compiled from auction lithos in the Mitchell Library, State Library of NSW, and
 the Local Studies Library, Newcastle Regional Library
 by Meredith Walker and Janice Cave

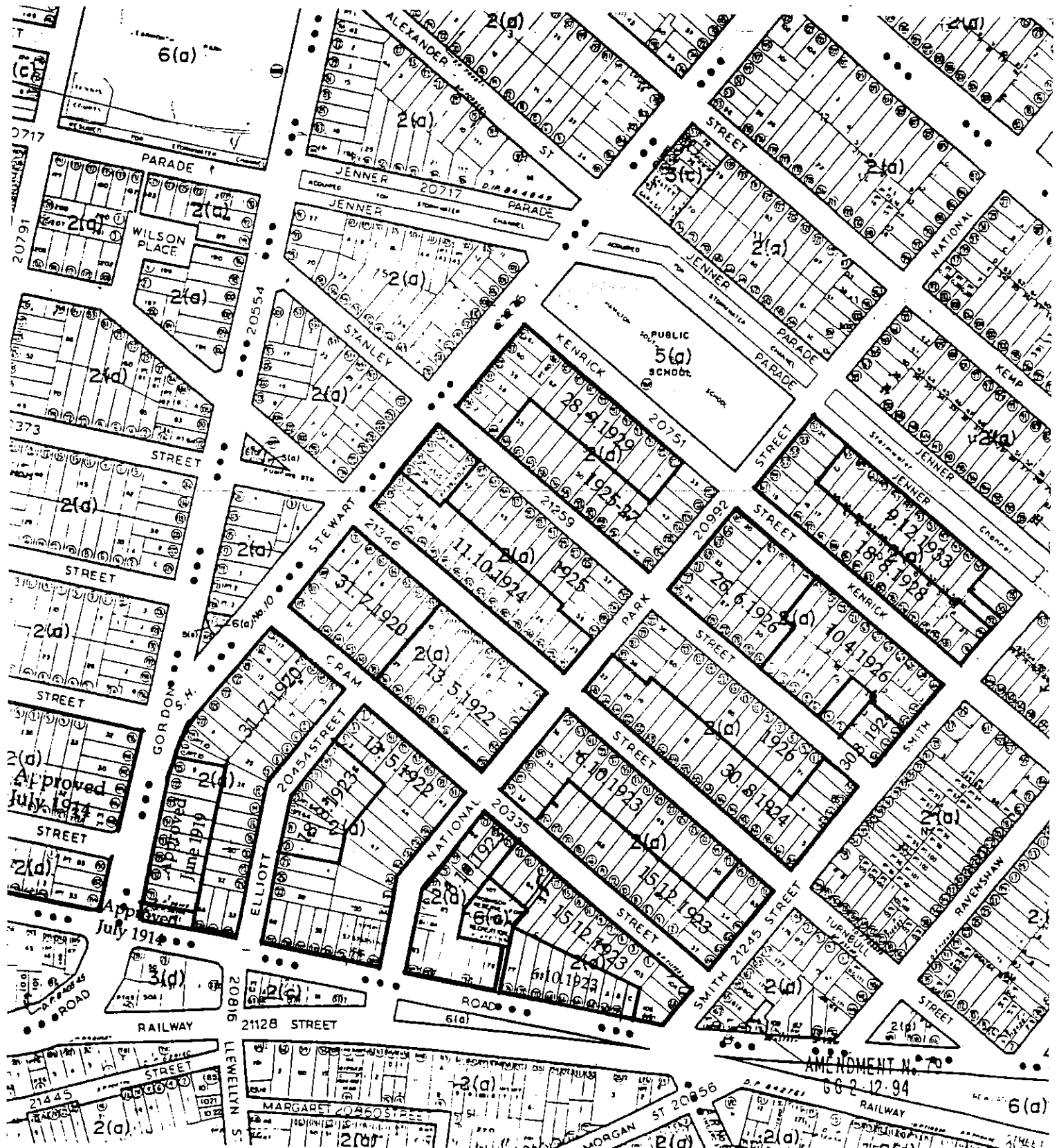
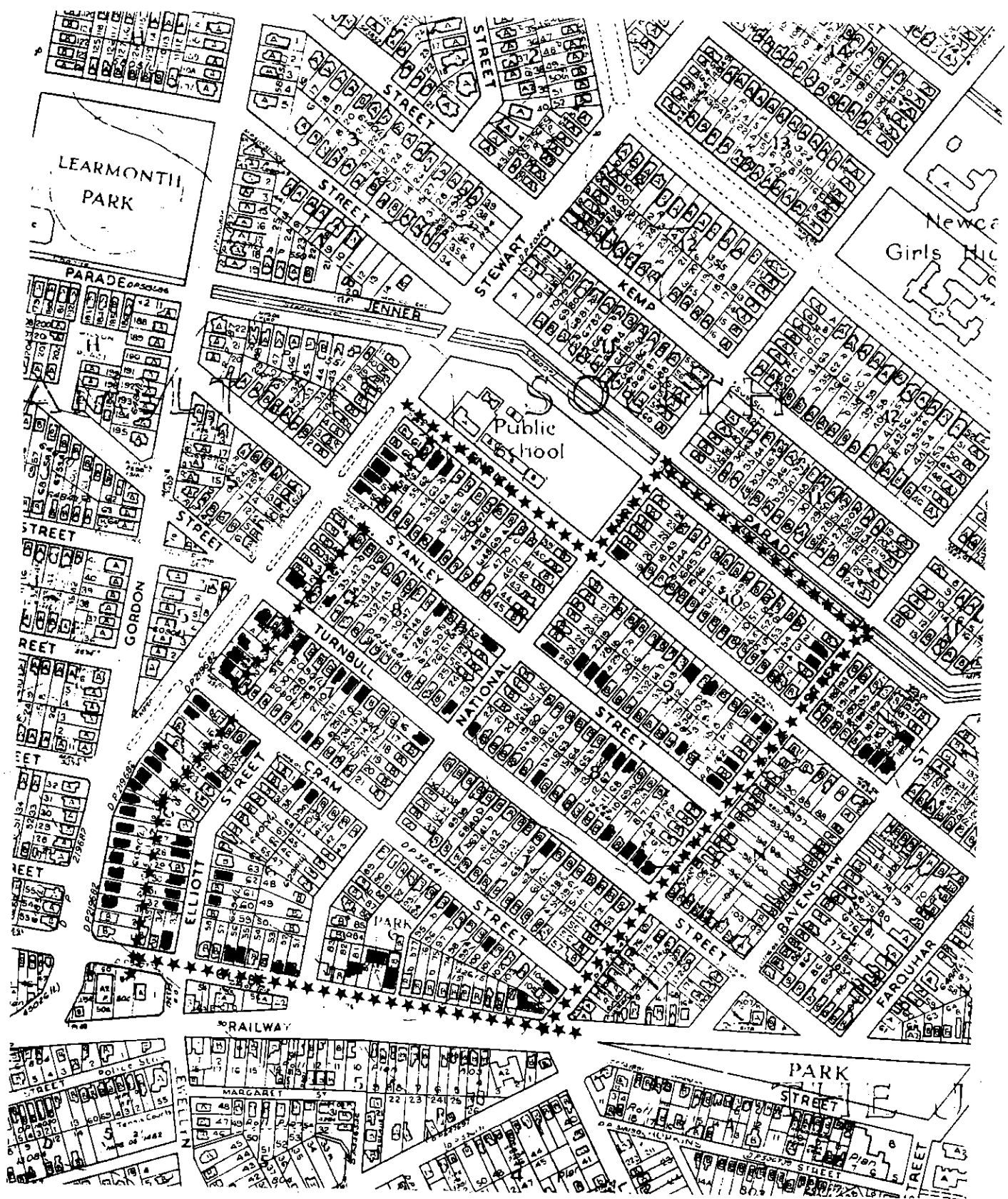


Figure 6: Garden Suburb, Hamilton - southern area - brick houses



3.0 Garden Suburb south of Jenner Parade (study area)

3.1 History and character

The Garden suburb south of Jenner Parade, and east of Gordon Avenue is shown in Figure 1. The area has more than 400 houses, more than half of which were constructed by the end of 1926. The number of houses constructed each year is in Appendix E.

The first development in this area was the two houses built by the A. A. Co in 1915 at the entrance to the estate at the corners of Gordon Avenue and Glebe Road. These houses are a mirror reverse of one another, and were illustrated in the promotion brochure for the estate. They were designed by local architect F. G. Castleden - who also prepared a layout for the garden and yard⁹. Figure 4.

The next areas to be sold was the land on either side of Gordon Avenue. Approval of detailed subdivision plans and provisions of infrastructure proceeded north and east, with the land in Jenner Parade being the last to be sold in the mid 1930s.

The open drain in the middle of Jenner Parade, was a new feature in the subdivision, probably initiated by the Hunter Water Board. To accommodate this new feature, the depth of the lots in the section south of Jenner Parade was reduced and the route altered.

The practice of releasing limited amounts of land at regular auction sale was applied throughout the Garden Suburb.

In the southern area, the majority of the houses are timber, with brick houses along Gordon Avenue and Stewart Avenue and a smattering in the other streets. Some of the brick houses were initiated by owners who bought the lot at auction, then engaged a builder or architect, and many of the timber houses were built by builders who bought a group of lots at auction then constructed houses. The process appears similar to today, where a builder with allotments offers a house and land package.

Several builders constructed groups of houses in the area, and together these give a distinctive character and consistency to the area; for example, the five houses 146 - 166 National Park Street built by C.M. Drinkwater and Sons in 1923; and the five houses 76, 80, 82, 84, 86, built by Petersham Bros 1925-26. The most active builder was R F builder who was associated with 13 houses in Cram Street, and others in Elliott, National Park, Standley and Turnbull Streets. Several builders also chose to live in the area. J Goldring, a Newcastle Jeweller built five houses in Stanley Street, and National Park Street.

⁹ A.A. Co correspondence held in Noel Butlin Archive, Australian National University

[illegible]

Figure 8: Garden Suburb, Hamilton - Southern area: Changes to houses

		Period	Period	Period	Period	Period	Outer-walls	Outer-walls	Intactness	Intactness	Intactness	Intactness	Intactness
Section	Houses	1914-1920	1920-29	1930-39	1949-49	1950 +	Brick	Timber	Intactness	Intactness	Intactness	Intactness	Intactness
6A	37	2	32	2	-	1	22	15	1	2	3	4	5
6B	35	-	35	-	-	-	8	27	5	16	14	2	-
6C	30	-	26	3	-	1	3	27	2	8	4	-	-
7A	32	-	29	3	-	-	11	21	3	20	6	-	1
7B	38	-	37	1	-	-	1	37	4	20	6	2	-
8A	36	-	30	6	-	-	7*	29	16	15	7	1	-
8B	38	-	33	4	1	-	9	29	13	10	13	5	-
9A	35	-	22	11	1	1(recent)	7	28	11	16	10	1	-
9B	39	-	35	1	2	1	11	28	10	14(2e)	7	3	1
10	37	-	16	21	-	-	3	34	11	12(1e)	11	3	2
Totals	357	2	295	52	4	2**	82	275	11	11(1e)	11(1e)	3	1
% ages	100%	0.6%	82.6%	14.6%	1.2%	0.6%	23%	77%	87	144	92	24	10
									24.6%	40.3%	25.7%	6.7%	2.8%

e = embellishment, where additional features and details not original have been added to the facade or fence, often in a similar or earlier style than those of the original house

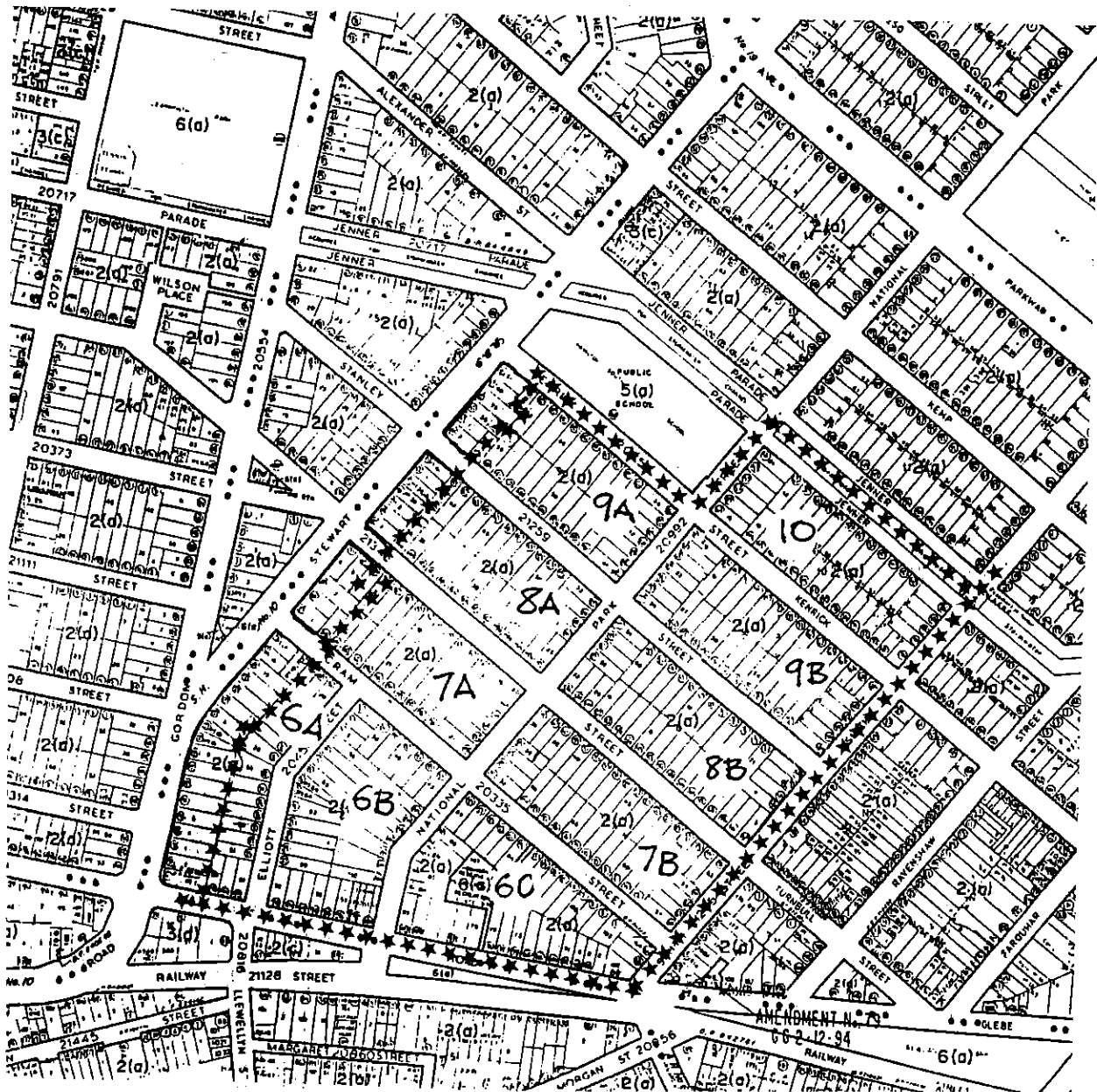
- * Two houses have been 'skinned' with brick in recent years
- ** One house has been constructed in recent years
- Most intact house categories 1 + 2 = 64.9% (original survey area in 1985 - 84%)
- Least intact houses (categories 3, 4, + 5) = 35.3% (original survey area in 1985 - 15.9%)
- Houses which are intact and those whose form is readily recognisable, ie. intactness categories 1 + 2 + 3 = 90.6%

Conclusion: The houses in this area are more altered than those in the original area were in 1985. The review in January 1995 showed that their had been numerous building works in the original area, and the architecture of the houses was more altered, but still worthy of conservation.

Figure 9: Key to section numbers in Figure 8.

NB. The assessment of intactness included the houses fronting Stewart and Gordon Avenues that are part of sections 9A, 8A, 7A and 6A and in the recommended Hamilton South-East conservation area.

***** boundary of study area



Houses were built as family homes, including homes for builders and their families, and many appear to have been built as investments. Some owners directly commissioned architects to design houses. The owner - occupiers represented a wide range of occupations, several of which no longer exist, eg. : barman, blacksmith, boiler maker, bricklayer, builders, buyer, carter, clerk, engine fitter, fireman, ice carter, jockey, letter carrier, masseur, mine deputy, orderman, painter, plumber, police constable, potter, pressman, railway employee, signalman, seaman, and tram conductor.

There is no obvious documented reason for why timber houses predominate in this area, but there are several hypotheses: for example, no covenants were applied as it was intended that the area be for lower cost housing; or covenants were applied but ignored. Certainly there are several brick houses, likely to be architect designed, of similar quality to those north of Jenner Parade.

More than half the houses in the study area were constructed by the end of 1926, and more than three quarters by the end of 1929. Fifty five (55) houses were constructed in 1925 and 66 in 1926. House construction in Newcastle slowed considerably in the Depression and World War 2; no houses were constructed in the study area in 1931, 1939 and 1942-44.

The houses are Newcastle versions of the typical houses of the 1920s and 30s, ie modest sized single storey bungalows. Some of the houses built in the early 1920s have a flavour of the Federation style because of their decoration and the later houses have characteristics associated with Californian bungalows. Few of the houses are architect designed and as a group they are not good examples architectural style. They are translations of architectural style into the local context. The presence of several groups of houses designed by prominent local builders gives the area a distinctive character and cohesiveness. See Appendix E. 'Research about owners, builders and occupants of Garden Suburb Hamilton - southern area 1918-27'.

3.2 Recent changes and intactness

The council has planted native trees in the footpaths.

In 1986, when the Hamilton South-East area was assessed to determine whether or not it should be conserved, this area was very much as it had been since the area was first developed. The exterior of some houses had been renovated using new material and finishes in the fashion of the times: for example, weatherboards replaced by in metal cladding, corrugated iron roofs replaced by concrete tiles, timber verandah floor replaced by concrete and posts by concrete columns. Several houses no longer had front fences, most of the houses were painted in white, cream other light colours. Houses were relatively well maintained continuing past patterns; a small number of houses had obviously been repaired and painted to respect their architectural character, in a similar fashion to houses north of Jenner Parade.

In the past decade there has been considerable renovation and additions, prompted by new owners and by earthquake damage. In general, these works have retained the architectural character of the houses, and in some cases embellished that character; e.g new features have been added in imitation of details from a slightly earlier period. In some instances, 1920s (Californian bungalow) details, such as window hoods, have been replaced by Federation details. Several houses have incorporated two storey additions, some carefully designed to retain the front part of the house relatively unaltered. It is clear that many owners appreciate the character of the timber houses.

Several timber houses have had their brick front porches and verandahs rebuilt, probably as a result of the earthquake.

Another trend is the removal of low timber front fences, probably because of decay. Some have been replaced by new Federation picket fences, following Sydney styles and now fashionable in Newcastle, and others now have no front fence.

The area was surveyed to determine its intactness, ie the extent to which the area retains its original houses and the extent to which the exterior of these houses have been altered. The assessment based only on the view from the street, and taking account of the plan form of the house, as shown on the Hunter District Water Board Detail Plans. The assessment of intactness followed the same method as used in 1986 for the Hamilton South-East Conservation area, ie assessing each house in relation to a set of five categories:

- Category 1 Few obvious changes
- Category 2 Form and character intact minor changes, eg replacement of windows, doors
- Category 3 Form intact, changes to materials of outer wall, porches and other elements
- Category 4 Major changes in form, eg two storey additions
- Category 5 major new building/redevelopment of the site

The categories, which were originally devised from a pilot survey, did not suit the range of changes as well as it did ten years ago. The range of changes is now more diverse. Ten years ago, second storey additions usually destroyed the character of the house, whereas recent second storey additions have retained the front of the house and its architectural character.

In general, the southern area of the Garden Suburb is not as intact as the northern area was ten years ago and appears to be now. The southern area has a larger percentage of houses that have had alterations to many features of their facades. The most intact houses (categories 1 and 2 combined) is 65% whereas in the original survey area it was 84% in 1985; similarly, the least intact houses (categories 3, 4 and 5) is 35.3% and the original survey area it was 15.9%.

Few allotments have been redeveloped, but a larger percentage of houses have been altered. Houses which retain their facade with only minor changes, such as new flywire doors, are becoming rare.

Whilst many houses have not been the subject of recent works, the area has an appearance of being well-cared-for and appreciated. The recent works to houses have ensured that those houses are in good condition.

However, the cumulative effect of the changes to fences, door and windows, is subtly changing the overall character of the area. The details designed and built by the Newcastle builders are being replaced by components which are readily available and probably modelled on Sydney details or brought from Sydney. This change is most noticeable in fences. The standard Newcastle fence designs are being replaced by Federation style picket fences which occurred in some Sydney suburbs but rarely in Newcastle have become very fashionable. Because these components are promoted as 'restoration' details, it is likely that the many owners might mistakenly believe that in using these fences they are 'putting back' the original character of the area. These components have become their own fashion, and it is possible that some people believe that the aim of heritage conservation is to apply period architectural details to an old house. Some people might not recognise that, for example, the existing fence, or window hood might be original, rather than a replacement, and therefore 'replace' it with a new fence or window believing that 'they are doing the right thing'. Others might merely prefer the house to look different, ie more like older houses.

3.3 Comparison with other residential areas

3.3.1 Hamilton Garden Suburb, north of Jenner Parade

The types of changes that are occurring in the southern area are also occurring in the area north of Jenner Parade. The buildings are in good condition, but a few of the originally modest brick houses have now become quite fancy. Again, it is clear that owners appreciate the character of houses and of the area as a whole.

The Garden Suburb north of Jenner Parade has not been re-surveyed for its intactness in this study.

3.3.2 Other areas of timber houses

Other areas developed in the early decades of 20th Century and where timber is the predominant material were timber houses inspected to compare them with the southern area of the Garden Suburb. This inspection comprised driving around the streets and did not include house by house assessments.

The conclusions drawn from this survey are:

- that timber houses were the more common than brick;
- that most areas developed over a longer period and have a wider range in house age and style and scale;
- some of the builders houses in the study area occur in other areas, such as Maryville; and that

- several of the inner suburbs developed 1920s-40s were originally subdivided before then, as indicated by the size of roads and footpaths.

The summary conclusion is that whilst there are small pockets of well-cared-for timber houses from 1920-30s in other suburbs, there were no areas where the house were as numerous, and as consistent in scale and character and condition as the southern area of the Garden Suburb. The Garden Suburb is more consistent in scale and character, of the houses and subdivision pattern and the houses are of a better standard.

Some streets and parts of streets have more obvious consistency and appeal than others. The extent of traffic in Glebe Road and Gordon Avenue /Stewart Avenue detract from the ready appreciation of their intactness and character, which includes many brick houses and houses that date from the first years of development, following the second world war. Tunbull Street shows the greatest consistency in timber houses.

3.4 Association with Sir John Sulman

The design for the Garden Suburb Hamilton was prepared by Sir John Sulman, 'one of the most prominent architects, town planners and social reformers of his generation', and 'the leading planning advocate of the early twentieth century'. With George Taylor, he helped form the Town Planning Association of NSW and was its president when he prepared the design for the Hamilton Garden Suburb. He was a member of numerous boards and committees¹⁰.

However, many of the design components of the original plan for the Garden Suburb, which made it different from the mere continuation of an existing road patterns, were not implemented. His major impact was probably in the construction of four demonstration houses, two brick houses at the northern end of Gordon Avenue, and two timber cottages at the southern entrance on either corner of Gordon Avenue and Glebe Road, and the offer to build the cottages and other standard designs to order.

The Garden Suburb is an association with John Sulman, rather than direct tangible evidence of his ideas, standards or skills, as are other estates, such as Daceyville and parts of Canberra. The Garden Suburb, Hamilton is an example of how the ideas and design skills of professional planners and architects was not always readily appreciated by those involved with the practical implementation of estates, such as surveyors, and civil engineers.

¹⁰ Robert. Freestone, Sunlight, space and suburbs: The planning ideas of Sir John Sulman, in Journal of the royal Australian Historical Society, Volume 81, part 2.

Figure 10:
page 1

Houses built by R.F. Lee, the most active builder in the southern area of the Garden Suburb 1921-27. He built 24 houses, some of which might have been designed by architects

R. F. Lee
6 Cram Street
Connection to sewer 16/02/1925



R. F. Lee
10 Cram Street
Connection to sewer 18/05/1925



R. F. Lee
8 Cram Street
Connection to sewer 25/02/1925



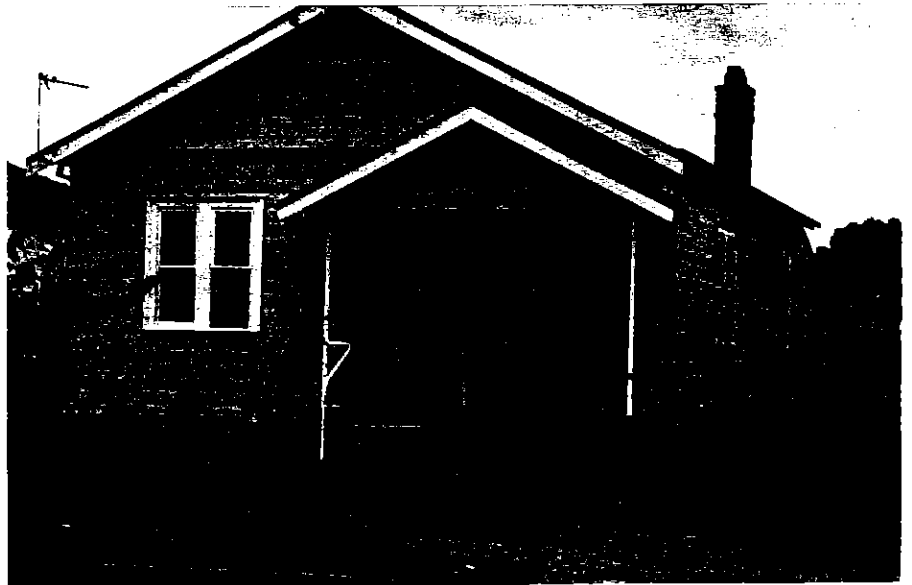
Figure 10:
page 2

Houses built by R.F. Lee, the most active builder in the southern area of the Garden Suburb 1921-27. He built 24 houses, some of which might have been designed by architects

R. F. Lee
3 Cram Street
Connection to sewer 12/11/1925



R. F. Lee
16 Cram Street
Connection to sewer 11/08/1925



R. F. Lee
18 Cram Street
Connection to sewer 18/05/1925



Figure 10:
page 3

Peterson Bros constructed 12
houses in the southern area of
the Garden Suburb, Hamilton
1921-27.

Petersen Bros
38 Cram Street
Connection to sewer 31/05/1924



Petersen Bros
80 + 82 Turnbull Street
Connection to sewer 10/02/1926



Petersen Bros
44 Cram Street
Connection to sewer 14/07/1924



Figure 10:
page 4

J. Anderson built six houses,
S. Anderson also built six
houses, including one for his
wife, presumably the family
home, at 24 Cram Street.

J. Anderson
4 Stanley Street
Connection to sewer 10/2/1927



J. Anderson
7 Stanley Street
Connection to sewer 7/01/1926



S. Anderson
26 + 28 Cram Street
(10 + 11 Elliott Street are similar)
Connection to sewer July, Jan 1924



4.0 Significance of the Garden Suburb Hamilton - southern area

4.1 Summary statement of significance

The Garden Suburb, Hamilton - southern area is significant in the following respects:

- as part of a high profile popular residential suburb, initially designed by the prominent Australian architect and planner John Sulman, and implemented by the A. A. Co;
- as one of the first examples of estates designed to express the town planning concepts of the Garden suburb in the Newcastle region; and
- for the consistent scale, character and condition of its timber houses, designed and built locally, and which are representative of the timber houses built throughout Newcastle in the 1920s, 30s and early 40s, and which remain in fair to good condition, through the care and interests of their owners.

Further research about the development of Newcastle suburbs, and of other lower Hunter towns, and the role of builders may reveal other aspects of significance or provide a refined statement of the significance of the area.

The area is of local significance in the history of the development of Newcastle, and research and comparison with other towns in the lower Hunter might show that it is of regional significance.

4.2 Obligations that follow from significance

The obligations that follow from significance can be considered in relation to two factors: the significance of the area and the community appreciations of that significance.

In relation to the development of Newcastle the area is significant for its history and for its timber houses. However, these aspects of its significance might not be well known or appreciated within the community, especially as timber houses have only recently begun to be obviously valued by the community. Certainly, the work of individual builders is probably only known to the builders themselves, and the manner in which the area reflects the social history of Newcastle - although likely to be of interest - is not a subject in the public consciousness of history and heritage.

The apparent appreciation of the area by its owners and residents, combined with the history of the area, warrant the recognition of the area for its history and character and the application of basic controls which reduce the likelihood of new development which is out of scale and character, and prevent demolition.

5.0 Future for the southern area

5.1 The future under present controls

The southern area of the Hamilton Garden suburb is zoned Residential 2(a).

As with other residential areas it is subject to the Lower Hunter Urban Housing Development Control Plan. This DCP mentions housing styles but uses examples from Sydney and does not recognise the typical styles and fashions of the Lower Hunter Region nor indicate that they might have heritage value. Under this DCP, it is likely that redevelopment of allotments could occur or be considered to be encouraged.

However, under the Single Dwelling and Dual Occupancy Code, clause 1.5 explains that Buildings and precincts of heritage value are listed in a schedule and that new development should have regard to heritage considerations. whilst the document contains many clear line drawings these do not include examples that demonstrate how to 'have regard for heritage considerations'. At present this area is not identified as a heritage area, and a few houses have been demolished and replaced by houses of similar scale.

It is probable that the present owner-led trend in caring for the houses will continue. However, this does not provide any security for those owners who appreciate the character of the area and have made an investment of time, energy and affection in their properties. Under the present requirements, an house could be the subject of a redevelopment proposal for a large two storey house or a dual occupancy. This would be likely to adversely affect the amenity of the adjoining houses and, because of the open character of the street, it would severely disrupt the streetscape character. Large two storey additions could also disrupt this character.

The significance and character of the area should therefore be considered at risk.

Under the Council's local approvals policy, consent is not required for many works which whilst minor development, could involve the removal of historical material from a building of significance in a heritage area, such as a fence, or original leadlight window.

The area would be especially at risk if the current state government proposals for changes to development control (white paper) are implemented.

Given the general appreciation of houses in the area, one option is to create greater awareness of the history of the area, the character of timber houses and the work of individual builders and the history of ownership. The communities' own interest and knowledge of the area could become a factor in its conservation.

This approach will assist the care of houses owned by people who may be interested in the history of the area or mindful of the interests of others, but it

will not affect new owners or potential owners who are not interested and are primarily interested in an investment, or having a new large house near the city.

5.2 The future as a conservation area

Whilst some parts of the southern area may be recognised as having a distinctive character, the degree to which it is intact is not likely to be appreciated because there is greater variety in house design than in Turnbull or Kenrick Street.

The term conservation area has been associated with areas that were initially developed in the distant past, ie 19th Century, rather than during the lifetime of many people.

Also, conservation areas have been promoted as areas where the expectation is that houses will be 'restored' by removing later unfortunate changes and followed by the addition of period details inside and out.

Whereas, the houses in the southern area of the Garden Suburb are relatively unaltered and to apply this approach would put the authentic fabric of the buildings at risk by suggesting that the houses needed to be changed, whereas the preferred approach maintenance and repair rather than 'restoration'.

Whilst the facades of 25% of the houses have a variety of obvious changes to their character, they are not in the majority, and restoring the 'lost' details may not be practicable for various reasons. However, these houses do clearly retain their original form and can be seen to have once been the same as neighbouring houses.

In short, to formally designate this area as a conservation area may inadvertently lead to misunderstandings about what the Council expects and hence to more works than are really needed (such as further Federation details), irrespective of how well the controls are formulated and explained.

5.3 A 'character area' rather than a 'conservation area'

Some further controls are needed to recognise the significance of the area and to provide guidance for any new works such as additions.

The approach recommended is to recognise the area as one of **distinctive character** and to prevent, or discourage new development that involves demolition.

Demolition would require consent (as with conservation areas), and the places that might be favourably considered would be those which were not the original buildings on the site, or which are buildings that have been extensively modified.

If new development occurs it should follow the existing pattern of siting, scale and form of houses, rather than, say building to the side boundaries or using forms - such as terrace houses - that do not occur in the area.

New buildings need not imitate the old in detail but follow the same overall scale; indeed, this is the approach that has been adopted in the instances where redevelopment has occurred.

Where people were seeking to create an additional dwelling (flat or dual occupancy) the existing house could be retained at the front of the lot and the new dwelling created at the rear.

The character area would differ from a conservation area in that controls would not be applied to changes to the exterior of existing houses:

- works to the exterior of the front of existing dwellings would not be controlled. Instead, the value and interest of the existing intact houses - especially as works of Newcastle builders and architects - would be actively promoted through brochures. The emphasis would be on keeping what you have rather than choosing the appropriate period detail.
- owners of houses that have already been changed would not be expected to change them back to their earlier character. [Such work would be allowed but not expected].

This approach relies upon the appreciation of these houses by their owners and the community in general.

6.0 Recommendations

6.1 Recognition of heritage and character value

It is recommended that: *the heritage value and character of the area be recognised by identifying it as an area whose character is worthy of retention. Under the present LEP and DCP provisions, this would be a 'conservation area'.*

The heritage and character value should also be recognised by the publication of a brochure about its history and development, including information about the builders and owners.

6.2 Protection and retention of heritage and character

It is recommended that: *the following measures be used to protect its heritage and character:*

- 1. Approval required for demolition of any building built before 1960; with the buildings likely to be considered for demolition being those that those whose facades are substantially changed in character and detail.*
- 2. New development, including additions, to comply with the following:*

New development, including additions to comply with the existing pattern of development and the following provisions:

- new development to be single storey or predominantly single storey with two stories is permissible only at the rear with the upper storey to be partially within the roof form, as with an attic;*
- timber houses to retain their exterior walls predominantly timber. Weatherboard imitations that are similar to the existing weatherboards are permissible. Timber buildings not to be re-clad in brick, or materials that imitate brick.*
- new buildings which replace existing houses built prior to 1960, to comply with the following requirements:*
 - no closer to the front boundary or side boundaries than the adjoining buildings;*
 - front portion to be similar in scale and form to the building which it replaced; ie a cottage form should be replaced by a cottage not a terrace house form.*

6.3 Review and amendments of existing planning instruments

It is recommended that:

- The Lower Hunter Urban Housing DCP be reviewed to include information about the distinctive character of housing in the Lower Hunter, especially in Newcastle, and outline provisions and advice to assist its recognition and protection;*

- *the Single Dwelling and Dual Occupancy Code be amended to include provisions that address the preferred approach to retaining houses of heritage character, and building in conservation areas. This should include line drawings;*
- *a brochure be prepared to demonstrate the preferred approach to care of buildings in the Garden Suburb, including the southern area; and that this include advice about researching houses and investigating the fabric of the house; and*
- *new provisions, to protection of the character of select residential areas, through restrictions on scale of development, and whose provisions are not as detailed or restrictive as conservation areas, be considered for inclusion in LEPs and DCP, and that the southern area of Hamilton Garden Suburb become one of these areas.*

6.4 Community consultation

Display and brochure

It is recommended that: *A small display and brochure be prepared about the Garden Suburb Hamilton, including information about builders and owners, as part of a community consultation process, in accordance with Council's usual practice.*

Walk around the southern area

It is recommended that: *Council arrange a walking tour of the southern area be held during the exhibition period. This should include information about the builders and their work. Inspection of interiors would not be included unless owners offered their houses. An map showing the work of the most active builders could be included.*

6.5 Records of Hunter Water Board

The detailed information about the Hamilton South East area was only possible because of the records of the Hunter Water Board, namely, the registers of connections to the sewer and the Detail Plans which show the location of buildings on allotments, originally drawn at 40 ft: 1 inch (1: 480) and now on microfiche. Neither of these records are needed for present operations, but the information is invaluable for people wanting to understand the history of a building or site. These records are known only to a few people, but if readily available they are likely to be popular for a range of research.

It is recommended that: *Council through its local history library, contact the Hunter Water Board to ensure that the records are protected; namely:*

- *all the Detail Plan series (1980, 85 and any earlier series) which show the position of buildings;*
- *the records of individual allotments (block plans); and also*
- *the volumes of the 'Hunter District Water Board Applications for connections of properties to the Board's sewers'.*

6.6 Promoting community understanding of Newcastle houses

6.6.1 Working with Newcastle builders and architects

It is desirable for present day builders and architects to be better informed about the character of Newcastle houses and the work of Newcastle builders that has contributed to the distinctive character of Newcastle suburbs. It is desirable for a wider range of house details to be available, so comparable to the details that are being reproduced from old houses in Sydney, Melbourne and Brisbane.

Obviously, the demand or need for these details might not be great.

Nevertheless, interest and local pride might some builders and suppliers to look at the local market, eg in relation to fences.

It is recommended that: *Council's Heritage Officer work with local builders and architects to address this issues, with the first step being a short meeting or seminar, including slide presentations about Newcastle houses, and an outline of basic approaches to conservation.*

6.6.2 Publication about Newcastle houses

It is also recommended that: *Council finance the preparation and publication of a book about Newcastle houses, builders and architects; including the commonplace houses types and work of very active builders and the work of architects, and with information about owners and developers. This should be a popular book, similar in scale and character to recent books by local historians. [NB This is also a recommendation of the Newcastle Heritage Study.]*

6.6.3 Encourage research about Newcastle houses

It is recommended that: *Council encourage research into Newcastle houses in Universities and among the Community generally. This could include small grants to cover photography and other research expenses, or offering prizes for research about Newcastle.*

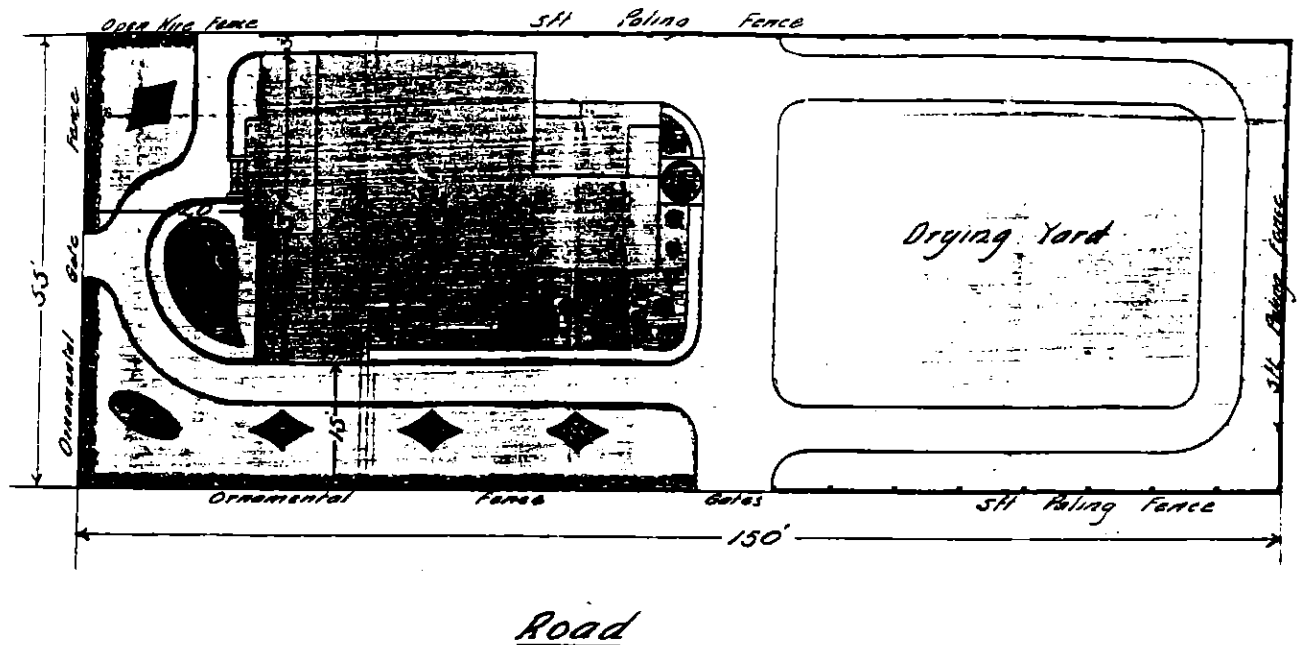


Figure 11: Cottage, n.e. corner Gordon Avenue and Glebe Road [Reduced scale, original in colour]
Extract from F. G. Castleden, Architect, '1/16th Scale Plan of Lay-out of Gardens - Two Weatherboard Cottages Model Suburb - Newcastle - for The Australian Agricultural company, dated 6/5/1914.

Ref. 131/15/330 Australian Agricultural Company Correspondence, Noel Butlin Archive, ANU.

N.B. F. G. Castleden designed this cottage and the reversed identical cottage on the opposite corner, as demonstration houses for the A. A. Company. He also designed the two demonstration brick cottages in Gordon Avenue at the corners of Kemp Street and Alexander Street.

Section of Stewart and Gordon Aves. Scale 1 chain to 4 inches.

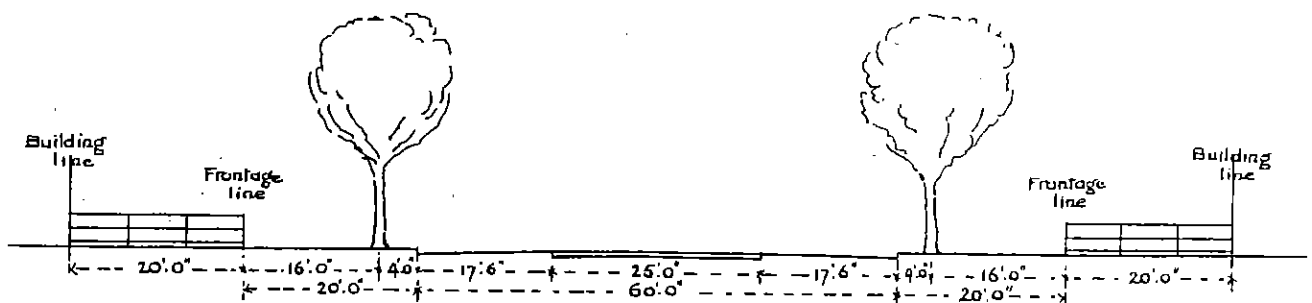


Figure 12: J. Sulman, Section of Stewart and Gordon Aves. [Reduced scale]

Ref. 131/15/330 Australian Agricultural Company Correspondence, Noel Butlin Archive, ANU

This sketch accompanied a letter 26 February, 1913 to Colonel Ranclaud, A.A.Co. Sulman recommended that trees be planted half chain (33 ft / 10.m) apart, fitted to the dimensions "if the tree will not subdivide exactly to half chain distances apart from road to road along Gordon Avenue, they will of course have to be fitted in as nearly to that dimension as appropriate".

Appendices

Appendix A. Recommendations from Hamilton South East conservation area- Review of boundaries, February, 1996, Meredith Walker.

Recommendations

It is recommended that:

1 Recognition of heritage value

The Hamilton South East Area, as shown on the attached plan, be recognised as an urban area of heritage value and worthy of conservation;

2 Public exhibition

That the original study (Hamilton South-East Conservation Study, 1986) and this review, together with a new summary brochure, be exhibited for public comment and that the residents be advised of the exhibition;

3 Brochure

That the brochure include the following:

- a brief history of its development
- statement of significance, with illustrations
- a map of the area
- advice about the controls in LEP 1987
- advice about the major concerns, ie retention of houses and townscape character.

The brochure should be prepared in draft form for the public exhibition so that the implications of the conservation area (and the security it provides) are clear and there is the opportunity for public comment.

[NB. The advice about heritage conservation in the original brochure is no longer appropriate. Advice about heritage conservation should be written specifically for the area rather than an adaptation of advice for another area.]

4 Investigation of nearby areas

That the area to the south (shown in Figure 2), including Kenrick, Stanley, Turnbull and Cram Streets, which was part of the Garden suburb be investigated for its history, built character and intactness, and its heritage significance assessed, using the same methods as for Hamilton south East.

5 Heritage conservation

That the following measures be considered to provide statutory protection and encouragement for conservation:

5.1 The Hamilton South East be included in Schedule 5 Heritage Conservation Area to LEP 1987, through a new LEP;

5.2 The detailed advice that is needed to guide conservation and development be the subject of a new DCP; and that

5.3 The Lower Hunter Urban Housing DCP be amended to recognise the distinctive character of housing and house styles in the Lower Hunter.

6 A. A. Company demonstration houses

That the four houses built by the AA Company, to demonstrate the standard of houses desired in the garden suburb, be included in the schedule of heritage items in LEP 1987. These houses are in Gordon Avenue, numbers 141 and 154, at the opposite corners of Glebe Road, at the entrance to the estate; and numbers 67, at the south east corner of Kemp Street and 73 at the north east corner of Alexander Street.

7 Research

That further research about the history of the development of Hamilton South-East and other A. A. Company lands be encouraged, especially, the design and construction of houses, using the information in the Hunter Water records.

8 Street tree planting

That, in the light of reduced traffic in Gordon and Stewart Avenues, Council investigate the opportunities for further street tree planting in the character initially envisaged in the design of the Garden suburb - ie trees not shrubs.

9 Public seminar

That council consider holding a public meeting in conjunction with the exhibition (Recommendation 2) so that the history and significance of the area can be presented and so that the Council can hear the views of the residents; and that a draft of the brochure be prepared beforehand.

Appendix B. Study Brief

Heritage survey and assessment of area in Hamilton South - East, adjoining recommended conservation area

1.0 Reason for study

The Newcastle City Councils has requested a survey of part of the Hamilton Garden Suburb, adjoining the recommended Hamilton South East conservation area. This proposal sets out the aims, study area, outcomes and cost of the work.

2.0 Aims

The aims of the study are:

- to investigate the history, development and character and intactness of the area adjoining the Hamilton South East conservation area; and
- to assess its significance; and
- to provide advice about conservations measures, specifically the appropriateness for inclusion in the Hamilton South East conservation area, and the controls recommended in the 'Hamilton South East conservation area: Review of boundaries', Report for Newcastle City Council, February, 1996

The field survey methods would be the same as for the initial study in 1985, so that it could be integrated with the original study and the review study.

3.0 Study area

The area for investigation is to the south of the recommended Hamilton South East conservation area it includes Kenrick, Stanley, Turnbull and Cram Street. See figure 2 of the February, 1996 report.

4.0 Work to be undertaken

4.1 Historical research

The following research would be undertaken:

- to compile plans, etc. from the Mitchell Library; Newcastle City Council, Hunter Water, Newcastle local history Library; (1 day)
- to investigate the history of the area including: the date of subdivision; auction of land; and the date of houses and name of builders/ first owners of major groups of houses - using the Hunter Water records; (1 day)
- to research the titles of a sample of houses in the area and in the recommended Hamilton South East conservation area, to compile information about the covenants and their operation and compare the two areas - one mostly brick and the other mostly timber; (1 day)
- to investigate the likelihood of the AA company records (held in the National Library in Canberra) providing useful information about the subdivision and its early development; and
- to prepare plans/diagrams showing this information. (1 day)

sub total 4 days

4.2 Survey

Field survey to:

- identify the intactness of the houses and the area generally, by assessing the intactness according to five categories (as before) (1 day);
- describe the character of the area as a whole; and
- identify trends in the care and management of properties in the area; and
- take a sample of photographs (0.5 days)
- to prepare plans showing this information (0.5 days.

sub total 2 days.

4.3 Analysis

Analysis of information:

- to assess the significance of the area; and
- its suitability for inclusion in the Hamilton south east area; and
- compilation of the analysis in a draft report; and

sub total 1.5 days

4.4 Discussion with Council officers

Discussion with council officers about the analysis and options.

0.5 days

4.5 Integration of findings with previous reports and report preparation

Following the analysis and the discussion with council staff, if the area (or part of it) is found to be significant and worthy of inclusion in the conservation area, then it will be necessary to re-cast the statement of significance for the area as a whole, and make any additional recommendations. (1 day)

5. Community consultation meeting

The consultant will attend a public meeting of residents to present information and assist in answering questions about the reports and Hamilton South East conservation area.

Appendix C - letters associated with the design of the Garden Suburb, Hamilton, 1913.

Burrangong McMahons Point
Sydney
15.1.1913

The Superintendent
A.A. Co. Newcastle

Dear Sir

At the request of Mr Learmonth I am sending you our first rough trial sketch for the subdivision and a few outline other notes thereon for his and your consideration when he next visits Newcastle.

Yours faithfully,

John Sulman

OUTLINE NOTES RESPECTING THE LAYOUT OF THE A.A. COMPANY'S SUBDIVISION AT NEWCASTLE

1. The controlling factors in the Subdivision are the permanent roads named Dumaresq Street and Turnbull Street, which cross the property, and the roads which bound the property. Also the surface water drain and the small gully in connection therewith. The line of the main sewer is also another factor.
2. The schools in the surrounding districts are fairly distributed, but are only sufficient for the actual population thereof. A new public school will therefore be required, and the central point between all the existing schools is a little north of the storm water drain towards the western side of the subdivision.
3. For some time to come the subdivision will have to obtain access to Newcastle by the existing trams in Hunter Street and Melville Street. Eventually, it is probable a tram may be run into the subdivision from one or other of these streets, hence there should be a main avenue from each direction, the Hunter Street one being in our opinion the most likely. As Stewart Street is the only line of access that would not conflict with the levels of the Company's railway, the principal avenue is a continuation thereof, at right angles to Dumaresq and Turnbull Streets, meeting Gordon Street about half way along the extension block of the subdivision on the west.
4. The focus of the subdivision is a rectangular open space with rounded ends forming a small reserve or park. On each side of this are shops, and at each end, public buildings. The school occupies a whole block. The main avenue is proposed to be 100ft in width and planted with trees. Kemp Street being the best outlet for access to the baths on the beach, it has been continued across the subdivision in a straight line to the opposite side. Between Kemp Street and Turnbull Street the space has been laid out with parallel roads, giving depths of a little over two chains. To the blocks between Kemp Street and Dumaresq Street the depths are two and a half chains, still leaving space for a parkway avenue two chains in width, which it is suggested should be planted with trees and grassed in the centre and thus form a striking

feature of the estate. This avenue is diverted where it meets the main avenue to connect with Myra Street leading to the tramline.

5. It will be noted that any ground at a lower level than 10ft we suggest should not be built on unless filled up at least to that level. The treatment of the gully and water channel with the surrounding low land at the eastern end of the site we leave for further consideration. On the whole we think the water channel had better follow fairly closely its present line, as any diversion along Darling Street and across the subdivision would not be only more costly but less convenient. Where the channel leaves Martin Street, it could either be carried under one of the new streets in tunnel, or between the back of the allotments in open channel. In the school site it might be left open, and also if straightened could run between the allotments in the adjoining block to the east.
6. The clay pits have been turned into children's playgrounds and model boat ponds. The overflow from these will not be large and could be carried along the street channels.
7. We have assumed that the hill on the south west corner of the site will be cut down to the general average level, hence a road has been inserted with allotments two chains in depth backing on to the cliff that will thus be formed against the Glebe Road.
8. The remaining portions of the estate are cut up in the most economical way so as to obtain the greatest amount of frontage and the fewest acute angles. It will be noted that small public gardens are shewn in the main avenues and subordinate streets in order to relieve the monotony of the same. They will cost but little to form and will give added value to the whole of the frontages, and are especially applicable where there is an excess of depth in the allotments.
9. The north and south street parallel to the main avenue where it intersects cross streets, is treated by cutting off the corners or cutting into them for the purpose previously indicated. In one case it is suggested that cottages of special design should be erected so as to face both streets, and thus relieve the monotonous effect of side frontages and side fences.
10. Should a special tram line be run into the estate at any time, the main avenue north and south, and the parkway avenue east and west, offer special facilities for the same.
11. The depth of the allotments varies from two chains to two and a half chains, and the frontages we suggest should vary from 40ft to 66ft and especially that corner allotments should be at least 10ft wider than the adjoining allotments to allow of the cottages being set back to that extent on the return frontages.
12. The roads are so planned in relation to the levels that no difficulty will be experienced with surface drainage.

3 February 1913

Messrs. Sulman & Hennesy
C/O John Sulman Esq.,
"Burrangong"
Warung Street,
McMahon's Point,
SYDNEY

Dear Sirs,

Special subdivision of land Newcastle

Referring to your letter of 15th Ultimo I have looked carefully through the trial sketch enclosed and am much pleased with the design and general treatment of the subject. I would like, however, to suggest the following modifications unless you have anything to urge to the contrary. The two patches of gardens tinted green North of Dumaresq Street and West of Porcher Street I would like so treated as to be capable of subdivision as building land, especially the block immediately adjoining Porcher Street - which looks into the Park. I think it may be possible to fill these up to a practicable building level, though not perhaps fully up to the general level of the adjacent higher land.

You already have Gordon Street as a tree avenue 100 feet wide from its Southern end till it meets the line of Stewart Street. As, however, Gordon Street will undoubtedly be a leading line of communication between Hamilton and Merewether and now readily catches the eye looking South from the Hamilton end I would like you to extend its width to 100 feet and continue the trees from Stewart Street intersection abovenamed Northerly to Minola Street. The extra width must be put on to the Eastern side, which is free - Learmonth Park bounds part of its Western side.

I have referred above to one of your two main tree avenues as "Stewart" Street but perhaps it might be better to select some distinctive and suitable name for each of the two wide avenues if not also for the third one at present called Gordon Street.

I expect you will either carry the two chain planted avenue on Southerly to Melville Street, or make some suitable connection between the two, so that the width and character of the avenue catch the eye from Melville Street.

With these modifications I shall be glad if you can proceed with the fair copy of the plan at your early convenience.

I return the draft plan herewith.

Yours faithfully,

J. Livingstone-Learmonth

General Superintendent
A.A. Company

Burrangong
McMahon's Point
Sydney
26th February, 1913

Colonel Ranclaud
Australian Agricultural Company
NEWCASTLE

Dear Sir,

As promised yesterday, I have the pleasure to send you a sketch of the intersection of one of your subdivision roads between Minola Street and the tramline, shewing the amount which I suggest should be cut off the sharp corner, the spacing of trees, and the small reserve for shrubs in connection therewith. I trust this will meet your requirements for the present, till I send the full report and plan. If the trees will not subdivide exactly to half chain distances apart from road to road along Gordon Avenue, they will of course have to be fitted in as nearly to that dimension as convenient.

Would it be desirable or not on the permanent plan to mark the school sites now being considered, as suggested sites for highschool and primary school.

Yours faithfully,

John Sulman

3 March 1913

John Sulman Esq.
Burrangong
McMahon's Point
Sydney

Dear Sir

Thanks for your of 26th Ultimo only received this morning , as I have been away since Friday last.

We note proposals as to the 100ft avenues, but also that you show a 16ft footpath in a 66ft street.

We trust this is not a material point to the new design as the local custom is 12ft footpaths, and local Councils might demur at an alteration.

Yours faithfully,

Charles (?) Ranclaud
Chief Clerk

Burrangong,
McMahon's Point,
Sydney,
4th March 1913

Colonel Ranclaud
Australian Agricultural Company,
NEWCASTLE

Dear Sir,

Your favour of the 3rd just to hand. As regards the 16ft footpath in a 66ft street, I am quite aware that it is not the usual custom, which is 12ft, but the sooner the latter is abandoned, the better I think it would be for both the Councils and the public; for the Councils because it would save in metalling if the street is to be metalled all over, and for the public because it reduces dust, and for both because it permits of the planting of trees at any time in a suitable position, whereas 12 feet does not. I have not had any difficulty elsewhere in getting approval to a 16ft footpath, especially when the advantages of the same are pointed out to the local officials. A 34ft roadway is ample for any traffic that the ordinary 66ft subdivision road is likely to carry. If, however, it is likely to have considerable traffic (like Hunter Street) then no doubt a 12ft footpath is preferable, but in that case the planting of trees should be definitely abandoned for all time.

Trusting this may be of assistance to you, I remain

Yours faithfully,

John Sulman

PS I hope to send the drawing and report in about a fortnight. Have only been able to get an overtime draughtsman.

106 Bruce Street, Newcastle
Thursday, 26th June 1913

J.S. Christian, Esq.
General Superintendent
Australian Agricultural Company - Newcastle

Sir!

Newcastle and its suburbs would not be so large as they are, were it not for the liberal minded spirit of the Australian Agricultural Company in dedicating as well as selling from time to time certain lands to Municipalities and many residents of this growing district. At the present time, too, all credit is due to that Company and its local advisers in again planning the addition of another suburb, at present called the "Garden Suburb"; which Plan, when lately submitted to the Hamilton Municipal Council, was much admired; as also by many other residents of this city and district whilst on exhibition in the large shop-window of Paling's music warehouse. Although I also admire the said Plan, I, nevertheless, am of the strong opinion that it is not sufficiently artistic; as modern lines demand something better than streets to meet at an acute angle; which is also a fault in causing congestion of traffic. As I have been credibly informed that you, Sir, invite suggestions on that Plan, I therefore herewith take the liberty of respectfully making such a suggestion, and enclose with this letter my idea on paper; which shows a very much needed alteration in the principal parts of the Plan, namely at the intersection of the Avenues. Instead of the awkward looking trapezoid, formed by the intersection of Parkway and Stewart Avenues with Dumaresq Street, I have planned a roomy circle 435 feet in diameter, between the building lines, including the 16 feet wide grass and shrub lawns, shaded green. Thus the six streets converging there can discharge their traffic into a more suitable space without congestion. It will be seen that the circle is struck with a radius so as to intersect a number of street corners at their junctions, which is the guiding idea of my improvement. But as I had no access to the official Plan in order to take measurements, but merely had to content myself making a free-hand drawing by peering through the shop-window, the said diameter may be a little more or less than 435 feet. And then again, as all nature shows us that the curve is the prettiest form of lines, singly or in combination, such a circular form of space with a suitable monument in the centre and having a peri-arborial evergreen ornamentation of beautiful pine-trees, like those pretty slender conically-shaped fir-trees to be seen at Sandgate Cemetery, would please the eye of the beholder every time, be he resident there or moving through it on a visit. Instead of one row of such trees shown on my Plan, two or more rows could be planted, as there is ample room, and I think pine-trees are prettier in perspective than broad-headed trees. The single row of pine-trees on my Plan are 33 feet from the building line; and allowing one foot for their future semi-diameter, leaves a clear width of 16 feet for the footpath; the lawns taking up the remaining 16 feet.

Further to the South the intersection of Gordon and Stewart Avenues with Turnball, Darling and other streets, is even worse; and there my Plan shows the same size circle as a suitable remedy; the centre of the open space affording room here also for a large monument in the form of some architectural structure, or else a column, obelisk, playing-fountain, statue, etc. As the back-ground of these two circular spaces afford ample room for public buildings, as well as shops, I have eliminated the rectangular green surrounded by an oval space flanked by shops, shown on the official Plan, which, being situated only in one street, are not sufficiently accessible; whereas both circles containing public buildings, as well as shops, are accessible respectively by six and seven streets at once. I have purposely left a faint tracing in pencil of the crossings of the streets within these circles to show the contrast of design.

And whilst I am on the subject of improvement may I further suggest that if, as I have also heard, it is the intention on the official Plan that the lawns in front of the buildings are not to have an outside protection of fencing of some kind, it would be a mistake! No matter how it may answer in other towns, some ornamental fencing should be permitted; because here, where there are so many people making their living with horses or cows, these animals are

allowed by their owners to stray on the streets at night in spite of the prohibition published in the Municipal By-laws; and therefore these animals would easily come a distance of even two miles, led by their instinct, and browse on the unprotected herbage of so many lawns, and thus cause much trouble, that would reflect upon the Officials of the Company. I therefore take the liberty to suggest that, in order to establish a pleasing uniformity, so as not to offend the artistic eye, all lawns have a polished granite or brachyte kerbing (the Australian marble, at least from the Orange district, is only fit for indoor purposes, as it cracks and crumbles when exposed to the weather) 12 inches thick and 12 inches high with a semicircular top in which are let in iron posts with railings of an ornamental design, but no more than 4 1/2 feet high, as being thus sufficient to prevent the straying animals from reaching over.

From the neighbouring hills of Hamilton, Glebe and Newcastle the two circular spaces suggested would present a fine perspective view, and remain a monument of the Australian Agricultural Company's desire for progress on modern lines.

In conclusion I sincerely declare that I am not at all making the enclosed suggestion of Improvement with the expectation of being rewarded if they are adopted by you, Sir; but only because I thought it was my duty, under the circumstances, as an interested member of the community to help along a change for the better, as far as my understanding goes; and thus subscribe myself as

Yours respectfully,
Alexander Richter

P.S. The surface of the cartridge-paper, on which the "Improvement Plan" has been drawn, is rough and porous, which prevented a neater appearance of the work.

A.R.

Copy of plan accompanying letter, Thursday, 26th June 1913, from Alexander Richter to J.S. Christian, Esq. General Superintendent, Australian Agricultural Company - Newcastle

Appendix D. Bibliography

Robert Freestone, 'Sunlight, space and suburbs: the physical planning ideas of Sir John Sulman,' in *Journal of the Royal Australian Historical Society*, Vol. 81, 1995, p143

Robert Freestone, *Model Communities: The Garden City Movement in Australia*, Nelson 1989.

John Sulman, 'Co partnership in housing'. Town Planning Association of NSW 1914 No. 3. ML 710/S

Meredith Walker & Associates, 'Hamilton South-East Conservation Study', Feb. 1986

Meredith Walker, 'Hamilton South East conservation area: review of boundaries', Feb 1996

Hunter Water Board Detail Plan series

Hunter Water Board Register of connections to the sewer 1919-1927

Appendix E. Research about owners, builders and occupants of Garden Suburb Hamilton - southern area 1919-27

1. Researchers

This research was undertaken by Elizabeth Wright and Merilyn Hey of Newcastle, directed by Meredith Walker.

2. Sources of information were:

Hunter Water Board Detail Plan series 1985. [These show the allotments, the outline of houses, and the sewer lines and connection points, and the connection number for each property.]

Hunter District Water Board Applications for connections of properties to the Board's sewers. 1914 -27

Electoral rolls for Newcastle.

Study area

3. Process of research

Meredith Walker entered the connection number for every property into a data base and then sorted into numerical order.

Information about each property, the applicant for connection, the owner and type of house (brick or weatherboard), date of connection, from the Hunter Water Board Register register of applications for connections to the sewer, was entered into the data base. The information was then able to be sorted by date, Street name and number, applicants name, owners name, etc.. This information was entered only up to 1927, the end of the register held in the Newcastle Public Library. [Registers are from 1927 onwards are held at the Hunter Water.]

The electoral rolls were used to find the address and occupations of owners, and this was entered into the data base. Information about people and firms which were thought likely to be builders was also sought in the electoral rolls.

Houses which were likely to have been both funded and constructed by builders were identified, marked on a plan of the area, then inspected from the street. In each group, the houses were identical or very similar.

4. Dating houses from the Hunter Water Board 'register'

For areas where the sewer was provided at the time of subdivision, it is possible to date the house from the applications numbers for connection to the sewer. The majority of houses were connected to the sewer within 6 months of application. Applications were usually made when the house was under construction or about to commence and the connection was made when it was completed. The application number can be used to give an approximate date of construction , without direct reference to the register book itself.

5. Research data

The information from this research is attached, arranged as follows:

- an outline of the research process and some conclusions
- in chronological order of application;

- by street address;
- by applicant;
(people who many several applications are likely to be builders / developers);
- by owner; and
- by occupation of occupiers (from the electoral rolls); and also
- a list of houses photographed by Marilyn Hey, address, builder, plus description and comments.

6. Further research

This research is very time consuming and much of its was undertaken because it was so interesting to the researchers. It covers the period 1921-27 (May). It would be desirable to continue the research for the period 1927 to 1940, by which time only a few allotments remained unbuilt upon. Further research would give a more complete picture of the building of the suburb, the builders, the owners, the occupants and their occupations. From the period study, it is clear that a wide range of people bought land and built in the Garden Suburb Hamilton, the range of occupations is interesting in itself.

7. Houses constructed in Garden Suburb Hamilton - southern area 1920-1950s

Year	No. constructed	Total no
1920	2	2
1921	2	4
1922	9	17
1923	24	71
1924	39	80
1925	55	135
1926	66	201
1927	34	235
1928	21	256
1929	48	304
1930	16	320
1931	-	320
1932	4	324
1933	2	326
1934	5	331
1935	16	357
1936	13	370
1937	8	378
1938	7	385
1939	-	385
1940	3	388
1941	4	392
1942	-	-
1943	-	-
1944	-	-
1950s	-	7
Year	No const	Total houses

Garden Suburb, Hamilton

A study of a selection of dwellings constructed between 1914-1927

Aim

The aim is to find information about owners, builders and occupiers in order to get general information about

- the architectural character and its source - ie who designed the buildings
- who developed the area - owners, builders, ? and
- who bought and lived at Garden Suburb - ie what kind of people

Procedure

- A list of 403 records was provided by Planner, Meredith Walker, compiled from the Hunter Water Board (Corporation)'s plans of Newcastle of sewer connection numbers for individual allotments in a section of Garden Suburb south of the stormwater drain.
- Approximately half the connection numbers supplied were checked chronologically against early registers of the Hunter Water Board (Corporation) now held at the Newcastle Local Studies Centre (Hunter District Water Board Application for Connections of Properties to the Board's Sewers), from 1914 to 1927.
- Information was found for 203 records about applicants, owners (sometimes), the fabric of the building, and dates of application and completion.
- The Sands Country Trades and Professions Directories provided listings for very few of the applicants. Most of the information obtained was from the State Electoral Rolls.

Some conclusions

- Apart from a church (176 Glebe) and a shop/dwelling (brick/weatherboard - 192 Glebe), all the buildings were houses. The building fabric of 2 of these is unknown, 49 were brick and 151 weatherboard (including the shop dwelling).
- The majority of the buildings were constructed by builders or carpenters. 31 builders/carpenters constructed 102 of the 146 entries with information on applicant's trade, with a few local builders/carpenters building several residences (25 for R F Lee).
- It is interesting to note there were families of builders/carpenters working locally, notably the Mitchell Bros, Orrett Bros and Petersen Bros.
- 14 builders/carpenters (or a member of their families) elected to live in one of their dwellings
- The residents were a combination of professions and trades, with a few (widowed/retired?) single women. The mix does not appear to have altered through the years.
- Professional residents and those connected with the building trade appear to have favoured brick built houses.

Garden Suburb, Hamilton, south of Jenner Parade
Sewer Connections, 1914-1927 (in chronological order of application)
Extract from 'Hunter District Water Board Application for
Connections of Properties to the Board's Sewers'

08-Nov-96

Number	Address		Type of Dwelling	Applicant	Owner	Application Date	Connection Date
04959	141	Gordon	W/B	Coe, W	A A Company	28/01/14	7/04/16
11202	131	Gordon	Brick	Court, H W	Bleazard, M J	20/10/19	9/04/20
11928	129	Gordon	Brick	Saunders, J L	Saunders, J L	18/05/20	21/02/21
11929	127	Gordon	Brick	Saunders, J L	Saunders, J L	18/05/20	21/02/21
12753	024	Elliott	Brick	Saunders, J L	Saunders, J L	16/05/21	17/10/21
13031	022	Elliott	Brick	Saunders, J L		14/06/21	17/10/21
13216	125	Stewart	Brick	Knowles, C E	Brook, W T	13/08/21	5/12/21
13357	135	Gordon	Brick	Cleaves, G	Young, R	26/09/21	10/03/22
14063	025	Elliott	Brick	Pickles, C	Scott, A	24/07/22	12/10/22
14140	144	National Park	W/B	Goodier, G J	Goodier, G J	29/08/22	25/03/23
14175	023	Elliott	Brick	Wilson, R	Nolan, P	6/09/22	5/01/23
14204	226	Glebe	W/B	Johns, W	Callen, P	18/09/22	30/09/22
14391	146	National Park	W/B	Drinkwater, C M & Sons		9/12/22	27/07/23
14392	148	National Park	W/B	Drinkwater, C M & Sons		9/12/22	27/07/23
14393	150	National Park	W/B	Drinkwater, C M & Sons		9/12/22	27/07/23
14394	164	National Park	W/B	Drinkwater, C M & Sons		9/12/22	7/05/23
14395	166	National Park	W/B	Drinkwater, C M & Sons		9/12/22	7/05/23
14436	020	Elliott	Brick	Dilley, A	Bradstreet, E J	8/01/23	16/03/23
14629	162	National Park	W/B	Wilson, R C	Shackleton, H	14/03/23	12/06/23
14636	199	Stewart	W/B	Orrett Bros	Maier, Mr A	16/03/23	1/06/23
14650	125	Gordon	Brick	Orrett Bros	Harrison, G W	23/03/23	21/09/23

Number	Address	Type of Dwelling	Applicant	Owner	Application Date	Connection Date
14655	032 Cram	W/B	Lee, R F	Hodges, H B	26/03/23	17/08/23
14656	030 Cram	W/B	Lee, R F	Goodier, Gordon	26/03/23	21/09/23
14834	154 National Park	W/B	Wilson, A M	Wilson, Mr H	23/04/23	9/07/23
15090	018 Elliott	W/B	Wilson, G H	Whitford, A W	15/06/23	1/10/23
15133	137 Gordon	Brick	Cleaves, G	Hansen, E C	3/07/23	27/09/23
15234	039 Cram	Brick	Pinfold, G W	Blanksey, Mr W F	25/07/23	27/09/23
15235	158 National Park	W/B	Pinfold, G W	Greer, Mr W F	25/07/23	11/01/24
15236	037 Cram	W/B	Pinfold, G W	Clarke, Mr W D	25/07/23	27/09/23
15241	057 Turnbull	Brick	Errington, D M	Errington, D M	30/07/23	3/12/23
15307	041 Cram	Brick	Dixon, G	Walters, J H	14/08/23	9/09/23
15356	034 Cram	Brick	Keenan & McGrorey	Woods, E	30/08/23	7/12/23
15377	002 Elliott	Brick	Lee, R F	Brien, R	6/09/23	16/02/24
15438	127 Stewart	Brick	Nott, P A	McLillan, C C	29/09/23	17/12/23
15442	051 Cram	W/B	Saunders, J L		1/10/23	17/12/23
15465	117 Stewart	Brick	Wooden, J	Topps, A H	6/10/23	2/01/24
15468	133 Gordon	Brick	Vallender, G W	Fraser, C	6/10/23	4/03/24
15479	008 Elliott	W/B	Watson, A	Pheenan, Mr P	10/10/23	25/01/24
15506	028 Cram	W/B	Anderson, S		20/10/23	2/01/24
15543	031 Cram	W/B	Cleaves, G	Cleaves, George	6/09/23	28/04/24
15624	192 Glebe	W/B (Brick	Kirk, T	Pascoe, R L	16/09/23	4/04/24
15753	045 Turnbull	Brick	Reynolds, E	Reynolds, E	28/12/23	19/05/24
15795	011 Elliott	W/B	Anderson, S		12/01/24	22/03/24
15904	010 Elliott	W/B	Anderson, S	Goodall, J	15/02/24	29/03/24
15930	019 Cram	W/B	Robinson, H	Robinson, H	25/02/24	19/05/24
15949	038 Cram	W/B	Petersen Bros		29/02/24	31/05/24
15957	021 Elliott	Brick	Petersen Bros	Thorpe, F	29/02/24	21/07/24

Number	Address	Type of Dwelling	Applicant	Owner	Application Date	Connection Date
15963	040 Cram	W/B	James, D	Harrison, R	4/03/24	19/05/24
15998	087 National Park	W/B	Dixon, G		26/03/24	7/06/24
16031	036 Cram	W/B	Lee, Mrs L M		8/04/24	7/06/24
16146	044 Cram	W/B	Petersen Bros	Garner, Mr F	5/05/24	14/07/24
16183	043 Turnbull	W/B	Bowie, S		15/05/24	2/08/24
16193	029 Cram	W/B	Peebles, P	Stace, Mrs	20/05/24	14/07/24
16198	026 Cram	W/B	Anderson, S	Maloy, P	23/05/24	26/07/24
16239	168 Glebe	W/B	Elliott, A G & S F	Elliott, AG & SF	6/06/24	10/10/24
16310	115 Stewart	Brick	Trevor-Jones, J W	Goldring, J	16/06/24	27/08/24
16358	212 Glebe	Brick	Peebles, P	Halliday, L	18/06/24	30/09/24
16362	089 National Park	W/B	Wilson, A M	Dixon, G	20/06/24	8/08/24
16363	055 Turnbull	Brick	Bidner, W C	Bidner, W C	20/06/24	8/11/24
16392	014 Elliott	Brick	Jones, A	Gibbs, Mrs M	30/06/24	15/09/24
16398	023 Cram	W/B	Carson, W	Carson, W	2/07/24	30/09/24
16399	019 Elliott	W/B	Bell, F E	Bennett, Miss E	2/07/24	5/09/24
16431	020 Cram	W/B	Lee, R F	Matchet, R	14/07/24	31/10/24
16480	123 Gordon	W/B	Bush, A J & Mrs J M	Bush, A J & Mrs J M	1/08/24	5/12/24
16500	170 Glebe	W/B	Beck, H R	Beck, H R	6/07/24	27/10/24
16510	001 Cram	W/B	Bray, A R	Bray, W H	8/08/24	8/12/24
16573	174 Glebe	W/B	Doran, V	Chapman, J	2/09/24	18/10/24
16645	015 Elliott	W/B	Peebles, P	G W Pinfold & Co Ltd	17/09/24	21/10/25
16646	017 Elliott	W/B	Peebles, P	G W Pinfold & Co Ltd	17/09/24	21/10/25
16667	085 National Park	W/B	Sowby, L	Sowby, L	21/09/24	15/12/24
16681	024 Cram	W/B	Anderson, Mrs V A	Anderson, Mrs V A	29/09/24	28/04/25
16746	015 Cram	Brick	Waller, W R A & Mrs E	Waller, W R A & Mrs E	20/10/24	6/01/25
16763	008 Cram	W/B	Lee, R F	Goodier, G	25/10/24	25/02/25

Number	Address		Type of Dwelling	Applicant	Owner	Application Date	Connection Date
16792	013	Elliott	W/B	Sowby, L S	Chard, A	6/11/24	25/02/25
16835	142	National Park	Brick	Dickson, G	Carey, H R	20/11/24	16/02/25
16839	129	Stewart	Brick	Ford, M A	Ford, M A	21/11/24	20/01/25
16912	013	Cram	W/B	Murdoch & Turner	Adams, F	6/12/24	28/03/25
16929	006	Cram	W/B	Lee, R F	Lee, Mrs L	30/12/24	16/02/25
17009	033	Cram	W/B	G W Pinfold & Co Ltd	Pinfold, J P	12/01/25	21/02/25
17018	005	Cram	W/B	Gardiner, A W	Gardiner, A W	15/01/25	28/04/25
17024	021	Cram	W/B	Petersen Bros	Gilbert, W T	20/01/25	28/04/25
17039	016	Elliott	Brick	Grace, Mrs K F	Grace, Mrs K F	28/01/25	1/08/25
17128	027	Cram	W/B	Lee, R F	Miller, W W	21/02/25	31/08/25
17156	065	Turnbull	Brick	Finch, A	Lancaster, W A	27/02/25	19/06/25
17159	027	Elliott	W/B	Johns, A	Walters, W J	28/02/25	28/04/25
17172	042	Cram	W/B	Peebles, P	Cleaves, S	4/03/25	6/06/25
17191	010	Cram	W/B	Lee, R F	Gardiner, Nurse R	7/03/25	18/05/25
17244	053	Turnbull	Brick	Bidner, W C	Bidner, Mrs E A	18/03/25	13/07/25
17255	018	Cram	W/B	Lee, R F	Matchett, R	21/03/25	18/05/25
17256	035	Turnbull	W/B	Baker, C	Cornish, W	21/03/25	6/06/25
17266	019	Turnbull	W/B	Freeman, R J	Freeman, R J	25/03/25	1/08/25
17271	162	Glebe	W/B	Sowby, L	Stallard, E	25/03/25	6/06/25
17289	208	Glebe	W/B	Anderson, S	Anderson, S	28/03/25	19/10/25
17329	050	Turnbull	W/B	Lee, R F	Lee, R F	4/04/25	17/12/25
17330	048	Turnbull	W/B	Lee, R F	Lee, Mrs L M	4/04/25	22/12/25
17335	007	Elliott	W/B	Mills, A	Mills, A	6/04/25	18/06/25
17360	009	Elliott	W/B	Watson, A	Mullally, O	16/04/25	12/06/25
17440	210	Glebe	Brick	Muncaster, W	Muncaster, W	13/05/25	19/08/25
17441	044	Turnbull	W/B	Ryan, P J	McMasters, C	19/05/25	11/03/26

Number	Address		Type of Dwelling	Applicant	Owner	Application Date	Connection Date
17443	056	Turnbull	Brick	Jamieson, J	Jamieson, John	10/05/25	18/08/26
17508	016	Cram	W/B	Lee, R F	Viggers, F	30/05/25	11/08/25
17512	011	Cram	W/B	Howard, H E	Howard, H E	1/06/25	10/09/25
17519	023	Turnbull	W/B	Stewart, W J	Stewart, W J	3/06/25	27/08/25
17539	035	Cram	W/B	G W Pinfold & Co Ltd	Williams, Mr D A	12/06/25	20/08/25
17558	017	Cram	W/B	Gray, M D	Cowley, S	18/06/25	27/08/25
17619	097	National Park	W/B	Dixon, G	Dixon, G	13/07/25	1/10/25
17630	041	Turnbull	W/B	Hardyman, E T	Hardyman, E T	15/07/25	2/02/26
17642	064	Smith	W/B	Petersen Bros	Viggers, J	20/07/25	1/10/25
17664	025	Cram	W/B	Lee, R F	Viggers, F	30/07/25	7/10/25
17676	095	National Park	W/B	Gardiner, A W	Gardiner, A W	5/08/25	1/10/26
17695	009	Cram	W/B	Howard, A G	Howard, A G	10/08/25	1/10/25
17747	004	Cram	W/B	Petersen Bros	Petersen Bros	25/08/25	5/11/25
17779	003	Cram	W/B	Lee, R F	Viggers, J	4/09/25	12/11/25
17822	017	Turnbull	W/B	Elliott, R J	Gilmore, S F	18/09/25	12/11/25
17881	166	Glebe	W/B	Sowby, L	W Hyland	6/10/25	3/12/25
17885	02	Cram	W/B	-	-	-	-
17908	039	Turnbull	W/B	Soper, H L	Petney, Mrs M	11/10/25	20/01/26
17954	007	Stanley	Brick	Anderson, J	Anderson, J	30/10/25	7/01/26
17957	013	Stanley	W/B	Lee, R F	McDougall, Mrs S	30/10/25	13/01/26
17958	043	Stanley	W/B	Lee, R F	McDougall, Mrs S	30/10/25	13/01/26
18017	021	Turnbull	W/B	Ryan & Hoyle	Brookhouse, T	3/11/25	23/03/26
18032	064	Turnbull	W/B	Sowby, L	Sowby, L	11/11/25	21/01/26
18040	152	National Park	W/B	Orrett Bros (CK & RS)	Orrett Bros	16/11/25	2/02/26
18114	042	Turnbull	Brick	Elliott, H A	Elliott, H A	14/12/25	18/03/26

Number	Address		Type of Dwelling	Applicant	Owner	Application Date	Connection Date
18120	096	Turnbull	W/B	Petersen Bros	Bryant, Mrs R M	16/12/25	11/10/26
18121	076	Turnbull	W/B	Petersen Bros	Blair, Mr	16/12/25	2/10/26
18122	080	Turnbull	W/B	Petersen Bros	McGlynn, H A	16/12/25	10/02/26
18123	082	Turnbull	W/B	Petersen Bros	McLean, Mrs	11/12/25	10/02/26
18124	084	Turnbull	W/B	Petersen Bros	Mitchison, J	16/12/25	1/02/26
18125	086	Turnbull	W/B	Petersen Bros	Geary, R A	16/12/25	10/02/26
18129	099	National Park	W/B	Scoular, C	Scoular, C	18/12/25	10/02/26
18149	040	Turnbull	W/B	Marks, E J	Marks, E J	5/01/26	26/05/26
18188	038	Turnbull	W/B	Gallaher, A	Gallaher, A	20/01/26	24/06/26
18201	062	Smith	W/B	Hewston, H	Mitchell, T R & W	22/01/26	5/05/26
18205	206	Glebe	W/B	Bartlett, W	Moore, V E J	22/01/26	8/04/26
18217	164	Glebe	W/B	Bell, J	Bell, J	28/01/26	9/03/26
18234	047	Turnbull	W/B	Mitchell Bros	Howard, A	3/10/26	20/03/26
18312	062	Turnbull	W/B	Sowby, L C	Sowby, L C	22/02/26	13/07/26
18315	113	Stewart	Brick	Fryer, N C	Trovey, G W	21/02/26	13/07/26
18326	049	Turnbull	W/B	Mitchell Bros	Howard, A	1/03/26	26/05/26
18330	037	Turnbull	W/B	Claverie, G	Pullin, H J	1/03/26	5/05/26
18340	048	Turnbull	W/B	Doran, V	Chapman, Mr	3/03/26	23/06/26
18365	123	Stewart	Brick	Wooden, F	Harper, A	12/03/26	8/07/26
18366	066	Smith	W/B	Lee, R F	McIntyre, E	13/03/26	8/06/26
18380	025	Turnbull	Brick	Southon, W	Commings, C	19/03/26	17/06/26
18469	004	Elliott	W/B	Hines, H	Stallard, E	30/04/26	7/10/26
18494	015	Stanley	W/B	Mitchell Bros	Viggers, J	4/05/26	28/10/26
18519	011	Turnbull	W/B	Lee, R F	Howard, A	11/05/26	29/06/26

Number	Address		Type of Dwelling	Applicant	Owner	Application Date	Connection Date
18544	214	Glebe	W/B	Mills, L C	Mills, L C	20/06/26	11/08/26
18560	060	Turnbull	W/B	Sowby, L C	Sowby, L C	27/05/26	20/01/27
18564	046	Turnbull	W/B	Christie, R A	Christie, R A	28/06/26	26/08/26
18577	091	National Park	W/B	Dixon, G	Dixon, G	2/06/26	28/07/26
18661	010	Stanley	W/B	Gardiner, A W	Gardiner, A W	25/06/26	5/05/27
18663	058	Smith	W/B	Lee, R F	Howard, A	26/06/26	22/09/26
18667	001	Stanley	W/B	Carlson, D	Weale, M	28/06/26	20/01/27
18696	224	Glebe	W/B	Martin & Brundle	McMahon, J P	7/07/26	25/11/26
18739	016	Stanley	W/B	Dixon, G	Dixon, G	19/07/26	10/03/27
18755	063	Kenrick	W/B	Doran, V	Donnison, T	22/07/26	27/01/27
18782	014	Stanley	W/B	Gardiner, A W	Schuck, V J	30/07/26	10/11/26
18811	075	National Park	Brick	Goldring, J	Goldring, J	5/08/26	6/01/27
18812	024	Stanley	Brick	Goldring, J	Goldring, J	5/08/26	6/01/27
18813	022	Stanley	Brick	Goldring, J	Goldring, J	5/08/26	6/01/27
18814	020	Stanley	Brick	Goldring, J	Goldring, J	5/08/26	6/01/27
18852	022	Cram	W/B	Pullin, H J	Pullin, H J	11/08/26	4/11/26
18867	004	Stanley	Brick	Anderson, J	Anderson, J	14/08/26	10/02/27
18868	079	Kenrick	W/B	Anderson, J	Anderson, J	14/08/26	23/03/27
18879	063	National Park	W/B	Reynolds, R F	Reynolds, R F	19/08/26	12/04/27
18893	176	Glebe	Church	Nott, P A	Trustees Merewether	23/08/26	3/02/27
18930	018	Stanley	W/B	Dixon, G	Dixon, G	3/09/26	10/11/26
18953	050	Smith	W/B	Gibbs, T	Gibbs, T	10/09/26	22/12/26

Number	Address		Type of Dwelling	Applicant	Owner	Application Date	Connection Date
18956	006	Stanley	W/B	Tennant, W A	Tennant, W A	10/09/26	23/12/26
18974	085	Kenrick	W/B	Gardiner, A W	Snow, W	15/09/26	10/03/27
18985	015	Turnbull	W/B	Lee, R F	Lee, R F	11/09/26	23/03/27
19011	013	Turnbull	W/B	Lee, R F	McPhee, W P A	25/09/26	23/03/27
19042	031	Turnbull	W/B	Hines, H	Lowe, T	5/10/26	2/06/27
19043	030	Stanley	W/B	Soper, H L	Soper, H L	5/10/26	16/02/27
19044	032	Stanley	W/B	Soper, H L	Soper, H L	5/10/26	7/07/27
19083	049	Cram	W/B	Saunders, J L	Saunders, J L	16/10/26	21/12/26
19144	008	Stanley	W/B	Gardiner, A W	Gardiner, A W	5/11/26	5/05/27
19160	012	Stanley	W/B	Robertson, J	Robertson, J	11/11/26	10/03/27
19171	081	National Park	W/B	Sowby, L C	Sowby, L C	15/09/26	10/02/27
19190	130	National Park	W/B	Lee, R F	Drew, Mrs	20/09/26	10/03/27
19191	060	Smith	W/B	Crawford, J	Crawford, J	20/09/26	10/02/27
19195	081	Kenrick	W/B	Anderson, J	Anderson, J	20/11/26	17/03/27
19213	021	Stanley	W/B	Teudt, L	Pullin, H J	25/11/26	23/06/27
19255	046	Smith	W/B	Tennant, W A	Lester, W G	2/12/26	8/01/27
19292	140	National Park	House	Sowby, L	Sowby, L	20/12/26	26/05/27

Garden Suburb, Hamilton, south of Jenner Parade
Sewer Connections, 1914-1927 (by street address)

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08-Nov-96

No	Connec- tion No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
Cram							
001	16510	8/12/24	W/B	Bray, A R	Bray, W H		
002	17508	1/08/25	W/B	Lee, R F	Viggers, F		
003	17779	2/11/25	W/B	Lee, R F	Viggers, J		
004	17747	5/11/25	W/B	Petersen Bros	Petersen Bros		
005	17018	8/04/25	W/B	Gardiner, A W	Gardiner, A W		
006	16929	6/02/25	W/B	Lee, R F	Lee, Mrs L		
008	16763	5/02/25	W/B	Lee, R F	Goodier, G		
009	17695	1/10/25	W/B	Howard, A G	Howard, A G		
010	17191	8/05/25	W/B	Lee, R F	Gardiner, Nurse R		
011	17512	0/09/25	W/B	Howard, H E	Howard, H E		
013	16912	8/03/25	W/B	Murdoch & Turner	Adams, F	Adams, F	Hospital Attendant
015	16746	6/01/25	Brick	Waller, W R A & Mrs E	Waller, W R A & Mrs E	Waller, W R A & Mrs E	Clerk
016	17508	1/08/25	W/B	Lee, R F	Viggers, F		
017	17558	7/08/25	W/B	Gray, M D	Cowley, S	Cowley, S	Railway Employee
018	17255	8/05/25	W/B	Lee, R F	Matchett, R	Matchett, R	Motor Driver
019	15930	9/05/24	W/B	Robinson, H	Robinson, H	Robinson, H	Carpenter
020	16431	1/10/24	W/B	Lee, R F	Matchet, R		
021	17024	8/04/25	W/B	Petersen Bros	Gilbert, W T		

No	Conne- tion No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
022	18852	4/11/26	W/B	Pullin, H J	Pullin, H J		
023	16398	0/09/24	W/B	Carson, W	Carson, W		
024	16681	8/04/25	W/B	Anderson, Mrs V A	Anderson, Mrs V A	Anderson, Mrs V A	<i>Home Duties</i>
025	17664	7/10/25	W/B	Lee, R F	Viggers, F		
025	17664	7/10/25	W/B	Lee, R F	Viggers, F		
026	16198	6/07/24	W/B	Anderson, S	Maloy, P		
027	17128	1/08/25	W/B	Lee, R F	Miller, W W	Miller, W W	<i>Boiler Maker</i>
028	15506	2/01/24	W/B	Anderson, S			
029	16193	4/07/24	W/B	Peebles, P	Stace, Mrs		
030	14656	1/09/23	W/B	Lee, R F	Goodier, Gordon		
031	15543	8/04/24	W/B	Cleaves, G	Cleaves, George	Cleaves, George	<i>Builder</i>
032	14655	7/08/23	W/B	Lee, R F	Hodges, H B		
033	17009	1/02/25	W/B	G W Pinfold & Co Ltd	Pinfold, J P	Pinfold, J P	<i>Builder</i>
034	15356	7/12/23	Brick	Keenan & McGrorey	Woods, E	Woods, E	<i>Moulder</i>
035	17539	0/08/25	W/B	G W Pinfold & Co Ltd	Williams, Mr D A	Williams, Mr D A	<i>Sales Manager</i>
036	16031	7/06/24	W/B	Lee, Mrs L M			
037	15236	7/09/23	W/B	Pinfold, G W	Clarke, Mr W D	Clarke, Mr W D	<i>Tram Conductor</i>
038	15949	1/05/24	W/B	Petersen Bros			
039	15234	7/09/23	Brick	Pinfold, G W	Blanksey, Mr W F		
040	15963	9/05/24	W/B	James, D	Harrison, R	Harrison, R	<i>Blacksmith</i>
041	15307	9/09/23	Brick	Dixon, G	Walters, J H		

No	Con- tion No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
042	17172	6/06/25	W/B	Peebles, P	Cleaves, S	Cleaves, S	<i>Plumber</i>
044	16146	4/07/24	W/B	Petersen Bros	Garner, Mr F	Garner, Mr F	<i>Carpenter's Labourer</i>
049	19083	1/12/26	W/B	Saunders, J L	Saunders, J L	Saunders, J L	<i>Builder</i>
051	15442	7/12/23	W/B	Saunders, J L			
Elliott							
002	15377	6/02/24	Brick	Lee, R F	Brien, R	Brien, R	<i>Carter</i>
004	18469	7/10/26	W/B	Hines, H	Stallard, E		
007	17335	8/06/25	W/B	Mills, A	Mills, A		
008	15479	5/01/24	W/B	Watson, A	Pheenan, Mr P		
009	17360	2/06/25	W/B	Watson, A	Mullally, O	Mullally, O	<i>Traveller</i>
010	15904	9/03/24	W/B	Anderson, S	Goodall, J		
011	15795	2/03/24	W/B	Anderson, S			
013	16792	5/02/25	W/B	Sowby, L S	Chard, A	Chard, A	<i>Ice Carter</i>
014	16392	5/09/24	Brick	Jones, A	Gibbs, Mrs M	Gibbs, Mrs M	<i>Home Duties</i>
015	16645	1/10/25	W/B	Peebles, P	G W Pinfold & Co Ltd		
016	17039	1/08/25	Brick	Grace, Mrs K F	Grace, Mrs K F	Grace, Mrs K F	<i>Home Duties</i>
017	16646	1/10/25	W/B	Peebles, P	G W Pinfold & Co Ltd		
018	15090	1/10/23	W/B	Wilson, G H	Whitford, A W	Whitford, A W	<i>Engine Fitter</i>
019	16399	5/09/24	W/B	Bell, F E	Bennett, Miss E		
020	14436	6/03/23	Brick	Dilley, A	Bradstreet, E J	Bradstreet, E J	<i>Buyer</i>
021	15957	1/07/24	Brick	Petersen Bros	Thorpe, F		

No	Connec- tion No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
022	13031	7/10/21	Brick	Saunders, J L			
023	14175	5/01/23	Brick	Wilson, R	Nolan, P	Nolan, P	<i>Orderman</i>
024	12753	7/10/21	Brick	Saunders, J L	Saunders, J L		
025	14063	2/10/22	Brick	Pickles, C	Scott, A		
027	17159	8/04/25	W/B	Johns, A	Walters, W J		
Glebe							
162	17271	6/06/25	W/B	Sowby, L	Stallard, E		
164	18217	9/03/26	W/B	Bell, J	Bell, J		
166	17881	3/12/25	W/B	Sowby, L	W Hyland		
168	16239	0/10/24	W/B	Elliott, A G & S F	Elliott, AG & SF	Elliott, AG & SF	<i>Builder</i>
170	16500	7/10/24	W/B	Beck, H R	Beck, H R	Beck, H R	<i>Contractor</i>
174	16573	8/10/24	W/B	Doran, V	Chapman, J	Chapman, J	<i>Storeman/School Teacher</i>
176	18893	3/02/27	Chur	Nott, P A	Trustees Merewether		
192	15624	4/04/24	W/B	Kirk, T	Pascoe, R L	Pascoe, R L	<i>Clerk</i>
206	18205	8/04/26	W/B	Bartlett, W	Moore, V E J		
208	17289	9/10/25	W/B	Anderson, S	Anderson, S		
210	17440	9/08/25	Brick	Muncaster, W	Muncaster, W	Muncaster, W	<i>Milk Vendor</i>
212	16358	0/09/24	Brick	Peebles, P	Halliday, L	Halliday, L	<i>Clerk</i>
214	18544	1/08/26	W/B	Mills, L C	Mills, L C		
224	18696	5/11/26	W/B	Martin & Brundle	McMahon, J P		
226	14204	0/09/22	W/B	Johns, W	Callen, P		

Gordon

No	Connec- tion No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
123	16480	5/12/24	W/B	Bush, A J & Mrs J M	Bush, A J & Mrs J M		
125	14650	1/09/23	Brick	Orrett Bros	Harrison, G W	Harrison, G W	Accountant
127	11929	1/02/21	Brick	Saunders, J L	Saunders, J L	Saunders, J L	Builder
129	11928	1/02/21	Brick	Saunders, J L	Saunders, J L		
131	11202	9/04/20	Brick	Court, H W	Bleazard, M J	Bleazard, M J	Painter
133	15468	4/03/24	Brick	Vallender, G W	Fraser, C	Fraser, C	Accountant
135	13357	0/03/22	Brick	Cleaves, G	Young, R	Young, R	Mine Deputy
137	15133	7/09/23	Brick	Cleaves, G	Hansen, E C	Hansen, E C	Railway Signalman
141	04959	7/04/16	W/B	Coe, W	A A Company		
Kenrick							
052	18908	4/11/26	Brick	Wood, Mrs C W	Wood, Mrs C W		
056	18700	1/10/26	W/B	Dart, G W	Dart, G W	Dart, G W	Railway Employee
058	18965	8/04/27	Hous	Egan, M B	Egan, M B	Donovan, Ellen	Clerk
060	18463	8/10/26	W/B	Elliott & Beck	Brand, Elsie		
062	19253	0/02/27	W/B	Mitchell, T & W	Johnson, Mrs R A	Johnson, Mrs R A	Home Duties
063	18755	7/01/27	W/B	Doran, V	Donnison, T		
064	18489	6/12/26	W/B	Davis, R C	Davis, R G	Davis, R G	Carpenter
066	18573	6/01/27	W/B	Anderson, J	Anderson, J		
079	18868	3/03/27	W/B	Anderson, J	Anderson, J		
081	19195	7/03/27	W/B	Anderson, J	Anderson, J		
085	18974	0/03/27	W/B	Gardiner, A W	Snow, W	Snow, W	Seaman

National Park

No	Connec- tion No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
063	18879	2/04/27	W/B	Reynolds, R F	Reynolds, R F		
075	18811	6/01/27	Brick	Goldring, J	Goldring, J		
081	19171	0/02/27	W/B	Sowby, L C	Sowby, L C		
085	16667	5/12/24	W/B	Sowby, L	Sowby, L		
087	15998	7/06/24	W/B	Dixon, G			
089	16362	8/08/24	W/B	Wilson, A M	Dixon, G		
091	18577	8/07/26	W/B	Dixon, G	Dixon, G		
095	17676	1/10/26	W/B	Gardiner, A W	Gardiner, A W		
097	17619	1/10/25	W/B	Dixon, G	Dixon, G		
099	18129	0/02/26	W/B	Scoular, C	Scoular, C	Scoular, C	<i>Carpenter</i>
130	19190	0/03/27	W/B	Lee, R F	Drew, Mrs	Drew, Mrs	<i>Home Duties</i>
140	19292	6/05/27	Hous	Sowby, L	Sowby, L		
142	16835	6/02/25	Brick	Dickson, G	Carey, H R	Carey, H R	<i>Bank Officer</i>
144	14140	5/03/23	W/B	Goodier, G J	Goodier, G J	Goodier, G J	<i>Letter Carrier</i>
146	14391	7/07/23	W/B	Drinkwater, C M & Sons			
148	14392	7/07/23	W/B	Drinkwater, C M & Sons			
150	14393	7/07/23	W/B	Drinkwater, C M & Sons			
152	18040	2/02/26	W/B	Orrett Bros (CK & RS)	Orrett Bros	Orrett, Mrs A M	<i>Home Duties</i>
154	14834	9/07/23	W/B	Wilson, A M	Wilson, Mr H		
158	15235	1/01/24	W/B	Pinfold, G W	Greer, Mr W F	Greer, Mr W F	<i>Police Constable</i>
162	14629	2/06/23	W/B	Wilson, R C	Shackleton, H	Shackleton, H	<i>Fireman</i>

No	Connection No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
164	14394	7/05/23	W/B	Drinkwater, C M & Sons			
166	14395	7/05/23	W/B	Drinkwater, C M & Sons			
Ravenshaw							
005	07774	0/02/17	Brick	Wilson, Thomas			
006	18864	1/12/26	Brick	Davies, W C	Davies, W C	Davies, W C	<i>Machinist</i>
Smith							
046	19255	8/01/27	W/B	Tennant, W A	Lester, W G	Lester, W G	<i>Boiler Maker</i>
050	18953	2/12/26	W/B	Gibbs, T	Gibbs, T		
058	18663	2/09/26	W/B	Lee, R F	Howard, A		
060	19191	0/02/27	W/B	Crawford, J	Crawford, J	Crawford, J	<i>Potter</i>
062	18201	5/05/26	W/B	Hewston, H	Mitchell, T R & W		
064	17642	1/10/25	W/B	Petersen Bros	Viggers, J		
066	18366	8/06/26	W/B	Lee, R F	McIntyre, E	McIntyre, E	<i>Barman</i>
Stanley							
001	18667	0/01/27	W/B	Carlson, D	Weale, M		
004	18867	0/02/27	Brick	Anderson, J	Anderson, J		
006	18956	3/12/26	W/B	Tennant, W A	Tennant, W A		
007	17954	7/01/26	Brick	Anderson, J	Anderson, J		
008	19144	5/05/27	W/B	Gardiner, A W	Gardiner, A W		
010	18661	5/05/27	W/B	Gardiner, A W	Gardiner, A W		
012	19160	0/03/27	W/B	Robertson, J	Robertson, J	Robertson, J	<i>Labourer</i>
013	17957	3/01/26	W/B	Lee, R F	McDougall, Mrs S		

No	Connec- tion No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
014	18782	0/11/26	W/B	Gardiner, A W	Schuck, V J	Schuck, V J	<i>Carter</i>
015	18494	8/10/26	W/B	Mitchell Bros	Viggers, J		
016	18739	0/03/27	W/B	Dixon, G	Dixon, G		
018	18930	0/11/26	W/B	Dixon, G	Dixon, G		
020	18814	6/01/27	Brick	Goldring, J	Goldring, J		
021	19213	3/06/27	W/B	Teudt, L	Pullin, H J		
022	18813	6/01/27	Brick	Goldring, J	Goldring, J		
024	18812	6/01/27	Brick	Goldring, J	Goldring, J		
030	19043	6/02/27	W/B	Soper, H L	Soper, H L		
032	19044	7/07/27	W/B	Soper, H L	Soper, H L		
043	17958	3/01/26	W/B	Lee, R F	McDougall, Mrs S		
Stewart							
113	18315	3/07/26	Brick	Fryer, N C	Trove, G W		
115	16310	7/08/24	Brick	Trevor-Jones, J W	Goldring, J		
117	15465	2/01/24	Brick	Wooden, J	Topps, A H		
123	18365	8/07/26	Brick	Wooden, F	Harper, A		
125	13216	5/12/21	Brick	Knowles, C E	Brook, W T		
127	15438	7/12/23	Brick	Nott, P A	McLillan, C C	McLillan, C C	<i>Engineer</i>
129	16839	0/01/25	Brick	Ford, M A	Ford, M A	Ford, M A	<i>Bricklayer</i>
199	14636	1/06/23	W/B	Orrett Bros	Maier, Mr A	Maier, Mr A	<i>Masseur</i>
Turnbull							
011	18519	9/06/26	W/B	Lee, R F	Howard, A		

No	Connec- tion No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
013	19011	3/03/27	W/B	Lee, R F	McPhee, W P A	McPhee, W P A	<i>Engineer</i>
015	18985	3/03/27	W/B	Lee, R F	Lee, R F		
017	17822	2/11/25	W/B	Elliott, R J	Gilmore, S F		
019	17266	1/08/25	W/B	Freeman, R J	Freeman, R J	Freeman, R J	<i>Carpenter</i>
021	18017	3/03/26	W/B	Ryan & Hoyle	Brookhouse, T		
023	17519	7/08/25	W/B	Stewart, W J	Stewart, W J	Stewart, W J	<i>Joiner</i>
025	18380	7/06/26	Brick	Southon, W	Commings, C		
031	19042	2/06/27	W/B	Hines, H	Lowe, T		
035	17256	6/06/25	W/B	Baker, C	Cornish, W		
037	18330	5/05/26	W/B	Claverie, G	Pullin, H J		
038	18188	4/06/26	W/B	Gallaher, A	Gallaher, A	Gallaher, A	<i>Tram Conductor</i>
039	17908	0/01/26	W/B	Soper, H L	Petney, Mrs M		
040	18149	6/05/26	W/B	Marks, E J	Marks, E J	Marks, E J	<i>Agent</i>
041	17630	2/02/26	W/B	Hardyman, E T	Hardyman, E T	Hardyman, E T	<i>Engineer</i>
042	18114	8/03/26	Brick	Elliott, H A	Elliott, H A	Elliott, H A	<i>Builder</i>
043	16183	2/08/24	W/B	Bowie, S			
044	17441	1/03/26	W/B	Ryan, P J	McMasters, C	McMasters, C	<i>Pressman</i>
045	15753	9/05/24	Brick	Reynolds, E	Reynolds, E	Reynolds, E	<i>Jockey</i>
046	18564	6/08/26	W/B	Christie, R A	Christie, R A	Christie, R A	<i>Milk Vendor</i>
047	18234	0/03/26	W/B	Mitchell Bros	Howard, A		
048	18340	3/06/26	W/B	Doran, V	Chapman, Mr		

No	Conne- tion No	Date of Connection	Type of Dwelling	Applicant	Owner	Occupier	Occupier's Profession
048	17330	2/12/25	W/B	Lee, R F	Lee, Mrs L M		
049	18326	6/05/26	W/B	Mitchell Bros	Howard, A		
050	17329	7/12/25	W/B	Lee, R F	Lee, R F		
053	17244	3/07/25	Brick	Bidner, W C	Bidner, Mrs E A	Bidner, Mrs E A	<i>Home Duties</i>
055	16363	8/11/24	Brick	Bidner, W C	Bidner, W C	Bidner, W C	<i>Builder</i>
056	17443	8/08/26	Brick	Jamieson, J	Jamieson, John		
057	15241	3/12/23	Brick	Errington, D M	Errington, D M	Errington, D M	<i>Accountant</i>
060	18560	0/01/27	W/B	Sowby, L C	Sowby, L C		
062	18312	3/07/26	W/B	Sowby, L C	Sowby, L C		
064	18032	1/01/26	W/B	Sowby, L	Sowby, L		
065	17156	9/06/25	Brick	Finch, A	Lancaster, W A		
076	18121	2/10/26	W/B	Petersen Bros	Blair, Mr		
080	18122	0/02/26	W/B	Petersen Bros	McGlynn, H A		
082	18123	0/02/26	W/B	Petersen Bros	McLean, Mrs		
084	18124	1/02/26	W/B	Petersen Bros	Mitchison, J		
086	18125	0/02/26	W/B	Petersen Bros	Geary, R A		
096	18120	1/10/26	W/B	Petersen Bros	Bryant, Mrs R M		

Garden Suburb, Hamilton, south of Jenner Parade
Applicants for sewer connections, 1914-1927 (in alphabetical order)

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08-Nov-96

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Anderson, J					
066 Kenrick	W/B	6/01/27	Anderson, J		
079 Kenrick	W/B	23/03/27	Anderson, J		
081 Kenrick	W/B	17/03/27	Anderson, J		
004 Stanley	Brick	10/02/27	Anderson, J		
007 Stanley	Brick	7/01/26	Anderson, J		
Anderson, Mrs V A					
			<i>Home Duties (wife of S Anderson)</i>		
024 Cram	W/B	28/04/25	Anderson, Mrs V A	<i>Home Duties</i>	Anderson, Mrs V
Anderson, S					
			<i>Carpenter</i>		
			Lawson St, Hamilton		
026 Cram	W/B	26/07/24	Maloy, P		
028 Cram	W/B	2/01/24			
010 Elliott	W/B	29/03/24	Goodall, J	<i>Jeweller</i>	
011 Elliott	W/B	22/03/24			
208 Glebe	W/B	19/10/25	Anderson, S	<i>Carpenter</i>	
Baker, C					
035 Turnbull	W/B	6/06/25	Cornish, W		
Bartlett, W					
206 Glebe	W/B	8/04/26	Moore, V E J		
Beck, H R					
			<i>Contractor</i>		
170 Glebe	W/B	27/10/24	Beck, H R	<i>Contractor</i>	Beck, H R
Bell, F E					
			<i>Contractor</i>		
			Russell Rd, New Lambton		
019 Elliott	W/B	5/09/24	Bennett, Miss E		
Bell, J					
			<i>Carpenter</i>		
			Patrick St, Merewether		
164 Glebe	W/B	9/03/26	Bell, J	<i>Carpenter</i>	

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Bidner, W C <i>Builder</i>					
053 Turnbull	Brick	13/07/25	Bidner, Mrs E A	Home Duties	Bidner, Mrs E A
055 Turnbull	Brick	8/11/24	Bidner, W C	Builder	Bidner, W C
Bowie, S					
043 Turnbull	W/B	2/08/24			
Bray, A R <i>Carpenter</i> Gosford Rd, Hamilton					
001 Cram	W/B	8/12/24	Bray, W H		
Bush, A J & Mrs J M					
123 Gordon	W/B	5/12/24	Bush, A J & Mrs J M		
Carlson, D					
001 Stanley	W/B	20/01/27	Weale, M		
Carson, W					
023 Cram	W/B	30/09/24	Carson, W		
Christie, R A <i>Milk Vendor</i>					
046 Turnbull	W/B	26/08/26	Christie, R A	Milk Vendor	Christie, R A
Claverie, G					
037 Turnbull	W/B	5/05/26	Pullin, H J	Furniture Maker	
Cleaves, G <i>Builder</i>					
031 Cram	W/B	28/04/24	Cleaves, George	Builder	Cleaves, George
135 Gordon	Brick	10/03/22	Young, R	Mine Deputy	Young, R
137 Gordon	Brick	27/09/23	Hansen, E C	Railway Signalman	Hansen, E C
Coc, W					
141 Gordon	W/B	7/04/16	A A Company		
Court, H W					
131 Gordon	Brick	9/04/20	Bleazard, M J	Painter	Bleazard, M J

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Crawford, J <i>Potter</i>					
060 Smith	W/B	10/02/27	Crawford, J	<i>Potter</i>	Crawford, J
Dart, G W <i>Railway Employee</i>					
056 Kenrick	W/B	21/10/26	Dart, G W	<i>Railway Employee</i>	Dart, G W
Davies, W C <i>Machinist</i>					
006 Ravenshaw	Brick	21/12/26	Davies, W C	<i>Machinist</i>	Davies, W C
Davis, R C <i>Carpenter</i> Cromwell St, Lambton					
064 Kenrick	W/B	16/12/26	Davis, R G	<i>Carpenter</i>	Davis, R G
Dickson, G					
142 National Park	Brick	16/02/25	Carey, H R	<i>Bank Officer</i>	Carey, H R
Dilley, A <i>Builder</i> 73 Cleary St, Hamilton					
020 Elliott	Brick	16/03/23	Bradstreet, E J	<i>Buyer</i>	Bradstreet, E J
Dixon, G <i>Builder</i> 3 Sneddon St, Merewether					
041 Cram	Brick	9/09/23	Walters, J H		
087 National Park	W/B	7/06/24			
091 National Park	W/B	28/07/26	Dixon, G	<i>Builder</i>	
097 National Park	W/B	1/10/25	Dixon, G	<i>Builder</i>	
016 Stanley	W/B	10/03/27	Dixon, G	<i>Builder</i>	
018 Stanley	W/B	10/11/26	Dixon, G	<i>Builder</i>	
Doran, V					
174 Glebe	W/B	18/10/24	Chapman, J	<i>Storeman/School Te</i>	Chapman, J
063 Kenrick	W/B	27/01/27	Donnison, T		
048 Turnbull	W/B	23/06/26	Chapman, Mr		

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Drinkwater, C M & S <i>Builder</i>					
146 National Park	W/B	27/07/23			
148 National Park	W/B	27/07/23			
150 National Park	W/B	27/07/23			
164 National Park	W/B	7/05/23			
166 National Park	W/B	7/05/23			
Egan, M B <i>Winchman</i> 13 Patrick St, Merewether					
058 Kenrick	House	28/04/27	Egan, M B	<i>Winchman</i>	Donovan, Ellen
Elliott & Beck					
060 Kenrick	W/B	28/10/26	Brand, Elsie		
Elliott, A G & S F <i>Builder</i>					
168 Glebe	W/B	10/10/24	Elliott, AG & SF	<i>Builder</i>	Elliott, AG & SF
Elliott, H A <i>Builder</i>					
042 Turnbull	Brick	18/03/26	Elliott, H A	<i>Builder</i>	Elliott, H A
Elliott, R J					
017 Turnbull	W/B	12/11/25	Gilmore, S F		
Errington, D M <i>Accountant</i>					
057 Turnbull	Brick	3/12/23	Errington, D M	<i>Accountant</i>	Errington, D M
Finch, A <i>Builder</i> 30 Belford St, Merewether					
065 Turnbull	Brick	19/06/25	Lancaster, W A		
Ford, M A <i>Bricklayer</i>					
129 Stewart	Brick	20/01/25	Ford, M A	<i>Bricklayer</i>	Ford, M A
Freeman, R J <i>Carpenter</i>					
019 Turnbull	W/B	1/08/25	Freeman, R J	<i>Carpenter</i>	Freeman, R J
Fryer, N C					
113 Stewart	Brick	13/07/26	Trovey, G W		

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
G W Pinfold & Co Ltd <i>Builder</i>					
033 Cram	W/B	21/02/25	Pinfold, J P	<i>Builder</i>	Pinfold, J P
035 Cram	W/B	20/08/25	Williams, Mr D A	<i>Sales Manager</i>	Williams, Mr D
Gallaher, A <i>Tram Conductor</i>					
038 Turnbull	W/B	24/06/26	Gallaher, A	<i>Tram Conductor</i>	Gallaher, A
Gardiner, A W <i>Carpenter</i> 1 Hugh St, Merewether					
005 Cram	W/B	28/04/25	Gardiner, A W	<i>Carpenter</i>	
085 Kenrick	W/B	10/03/27	Snow, W	<i>Seaman</i>	Snow, W
095 National Park	W/B	1/10/26	Gardiner, A W	<i>Carpenter</i>	
008 Stanley	W/B	5/05/27	Gardiner, A W	<i>Carpenter</i>	
010 Stanley	W/B	5/05/27	Gardiner, A W	<i>Carpenter</i>	
014 Stanley	W/B	10/11/26	Schuck, V J	<i>Carter</i>	Schuck, V J
Gibbs, T					
050 Smith	W/B	22/12/26	Gibbs, T		
Goldring, J <i>Jeweller</i> Silsoe St, Hamilton					
075 National Park	Brick	6/01/27	Goldring, J	<i>Jeweller</i>	
020 Stanley	Brick	6/01/27	Goldring, J	<i>Jeweller</i>	
022 Stanley	Brick	6/01/27	Goldring, J	<i>Jeweller</i>	
024 Stanley	Brick	6/01/27	Goldring, J	<i>Jeweller</i>	
Goodier, G J <i>Letter Carrier</i> 15 Ravenshaw St, Hamilton					
144 National Park	W/B	25/03/23	Goodier, G J	<i>Letter Carrier</i>	Goodier, G J
Grace, Mrs K F <i>Home Duties</i> 20 James St, Hamilton					
016 Elliott	Brick	1/08/25	Grace, Mrs K F	<i>Home Duties</i>	Grace, Mrs K F
Gray, M D <i>Plumber</i> Westcourt Rd, New Lambton					
017 Cram	W/B	27/08/25	Cowley, S	<i>Railway Employee</i>	Cowley, S
Hardyman, E T <i>Engineer</i>					
041 Turnbull	W/B	2/02/26	Hardyman, E T	<i>Engineer</i>	Hardyman, E T

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Hewston, H	<i>Plumber</i>		Racecourse, Hamilton		
062 Smith	W/B	5/05/26	Mitchell, T R & W		
Hines, H	<i>Labourer</i>		Smith St, The Junction		
004 Elliott	W/B	7/10/26	Stallard, E		
031 Turnbull	W/B	2/06/27	Lowe, T		
Howard, A G	<i>Orderman</i>		106 Dumaesque St, Hamilton		
009 Cram	W/B	1/10/25	Howard, A G		
Howard, H E					
011 Cram	W/B	10/09/25	Howard, H E		
James, D					
040 Cram	W/B	19/05/24	Harrison, R	<i>Blacksmith</i>	Harrison, R
Jamieson, J					
056 Turnbull	Brick	18/08/26	Jamieson, John		
Johns, A					
027 Elliott	W/B	28/04/25	Walters, W J		
Johns, W	<i>Carpenter</i>				
226 Glebe	W/B	30/09/22	Callen, P		
Jones, A	<i>Wire Worker</i>				
014 Elliott	Brick	15/09/24	Gibbs, Mrs M	<i>Home Duties</i>	Gibbs, Mrs M
Keenan & McGrorey					
034 Cram	Brick	7/12/23	Woods, E	<i>Moulder</i>	Woods, E
Kirk, T	<i>Builder</i>		Teramby Rd, Hamilton		
192 Glebe	W/B (4/04/24	Pascoe, R L	<i>Clerk</i>	Pascoe, R L
Knowles, C E					
125 Stewart	Brick	5/12/21	Brook, W T		

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Lee, Mrs L M					
036 Cram	<i>Home Duties (wife of R F Lee)</i>	7/06/24	Glossop St, New Lambton		
Lee, R F					
	<i>Carpenter</i>		Glossop St, New Lambton		
002 Cram	W/B	11/08/25	Viggers, F		
003 Cram	W/B	12/11/25	Viggers, J		
006 Cram	W/B	16/02/25	Lee, Mrs L		
008 Cram	W/B	25/02/25	Goodier, G	<i>Letter Carrier</i>	
010 Cram	W/B	18/05/25	Gardiner, Nurse R	<i>Nurse</i>	
016 Cram	W/B	11/08/25	Viggers, F		
018 Cram	W/B	18/05/25	Matchett, R	<i>Motor Driver</i>	Matchett, R
020 Cram	W/B	31/10/24	Matchet, R		
025 Cram	W/B	7/10/25	Viggers, F		
025 Cram	W/B	7/10/25	Viggers, F		
027 Cram	W/B	31/08/25	Miller, W W	<i>Boiler Maker</i>	Miller, W W
030 Cram	W/B	21/09/23	Goodier, Gordon	<i>Letter Carrier</i>	
032 Cram	W/B	17/08/23	Hodges, H B		
002 Elliott	Brick	16/02/24	Brien, R	<i>Carter</i>	Brien, R
130 National Park	W/B	10/03/27	Drew, Mrs	<i>Home Duties</i>	Drew, Mrs
058 Smith	W/B	22/09/26	Howard, A		
066 Smith	W/B	8/06/26	McIntyre, E	<i>Barman</i>	McIntyre, E
013 Stanley	W/B	13/01/26	McDougall, Mrs S		
043 Stanley	W/B	13/01/26	McDougall, Mrs S		
011 Turnbull	W/B	29/06/26	Howard, A		
013 Turnbull	W/B	23/03/27	McPhee, W P A	<i>Engineer</i>	McPhee, W P A
015 Turnbull	W/B	23/03/27	Lee, R F	<i>Carpenter</i>	
048 Turnbull	W/B	22/12/25	Lee, Mrs L M		
050 Turnbull	W/B	17/12/25	Lee, R F	<i>Carpenter</i>	
Marks, E J					
	<i>Agent</i>				
040 Turnbull	W/B	26/05/26	Marks, E J	<i>Agent</i>	Marks, E J
Martin & Brundle					
224 Glebe	W/B	25/11/26	McMahon, J P		
Mills, A					
	<i>Carpenter</i>		49 Lambton Rd, Lambton		
007 Elliott	W/B	18/06/25	Mills, A	<i>Carpenter</i>	

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Mills, L C					
214 Glebe	W/B	11/08/26	Mills, L C		
Mitchell Bros <i>Builder</i> New Lambton					
015 Stanley	W/B	28/10/26	Viggers, J		
047 Turnbull	W/B	20/03/26	Howard, A		
049 Turnbull	W/B	26/05/26	Howard, A		
Mitchell, T & W					
062 Kenrick	W/B	10/02/27	Johnson, Mrs R A	<i>Home Duties</i>	Johnson, Mrs R A
Muncaster, W <i>Milk Vendor</i> 8 Gordon Ave, Hamilton					
210 Glebe	Brick	19/08/25	Muncaster, W	<i>Milk Vendor</i>	Muncaster, W
Murdoch & Turner					
013 Cram	W/B	28/03/25	Adams, F	<i>Hospital Attendant</i>	Adams, F
Nott, P A <i>Contractor</i> Kemp St, Hamilton					
176 Glebe	Church	3/02/27	Trustees Merewether		
127 Stewart	Brick	17/12/23	McLillan, C C	<i>Engineer</i>	McLillan, C C
Orrett Bros <i>Carpenter</i> 91 Union St, Merewether					
125 Gordon	Brick	21/09/23	Harrison, G W	<i>Accountant</i>	Harrison, G W
199 Stewart	W/B	1/06/23	Maier, Mr A	<i>Masseur</i>	Maier, Mr A
Orrett Bros (CK & RS <i>Carpenter</i> 91 Union St, Merewether					
152 National Park	W/B	2/02/26	Orrett Bros	<i>Carpenter</i>	Orrett, Mrs A M
Peebles, P <i>Plumber</i> 111 Everton St, Hamilton					
029 Cram	W/B	14/07/24	Stace, Mrs		
042 Cram	W/B	6/06/25	Cleaves, S	<i>Plumber</i>	Cleaves, S
015 Elliott	W/B	21/10/25	G W Pinfold & Co Ltd	<i>Builder</i>	
017 Elliott	W/B	21/10/25	G W Pinfold & Co Ltd	<i>Builder</i>	
212 Glebe	Brick	30/09/24	Halliday, L	<i>Clerk</i>	Halliday, L

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Petersen Bros					
	<i>Builder</i>		Hamilton South		
004 Cram	W/B	5/11/25	Petersen Bros	<i>Builder</i>	
021 Cram	W/B	28/04/25	Gilbert, W T		
038 Cram	W/B	31/05/24			
044 Cram	W/B	14/07/24	Garner, Mr F	<i>Carpenter's Laboure</i>	Garner, Mr F
021 Elliott	Brick	21/07/24	Thorpe, F		
064 Smith	W/B	1/10/25	Viggers, J		
076 Turnbull	W/B	2/10/26	Blair, Mr		
080 Turnbull	W/B	10/02/26	McGlynn, H A		
082 Turnbull	W/B	10/02/26	McLean, Mrs		
084 Turnbull	W/B	1/02/26	Mitchison, J		
086 Turnbull	W/B	10/02/26	Geary, R A		
096 Turnbull	W/B	11/10/26	Bryant, Mrs R M		
Pickles, C					
025 Elliott	Brick	12/10/22	Scott, A		
Pinfold, G W					
	<i>Builder</i>		Silsoe St, Hamilton		
037 Cram	W/B	27/09/23	Clarke, Mr W D	<i>Tram Conductor</i>	Clarke, Mr W D
039 Cram	Brick	27/09/23	Blanksey, Mr W F		
158 National Park	W/B	11/01/24	Greer, Mr W F	<i>Police Constable</i>	Greer, Mr W F
Pullin, H J					
	<i>Furniture Maker</i>		16 Samdon St, Hamilton		
022 Cram	W/B	4/11/26	Pullin, H J	<i>Furniture Maker</i>	
Reynolds, E					
	<i>Jockey</i>				
045 Turnbull	Brick	19/05/24	Reynolds, E	<i>Jockey</i>	Reynolds, E
Reynolds, R F					
063 National Park	W/B	12/04/27	Reynolds, R F		
Robertson, J					
	<i>Labourer</i>				
012 Stanley	W/B	10/03/27	Robertson, J	<i>Labourer</i>	Robertson, J
Robinson, H					
	<i>Carpenter</i>				
019 Cram	W/B	19/05/24	Robinson, H	<i>Carpenter</i>	Robinson, H

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Ryan & Hoyle					
	<i>Carpenter (Thomas Ryan)</i>		60 Denison St, Hamilton		
021 Turnbull	W/B	23/03/26	Brookhouse, T		
Ryan, P J					
	<i>Salesman</i>		Criterion Hotel, Hamilton		
044 Turnbull	W/B	11/03/26	McMasters, C	<i>Pressman</i>	McMasters, C
Saunders, J L					
	<i>Builder</i>		Gordon Ave, Hamilton		
049 Cram	W/B	21/12/26	Saunders, J L	<i>Builder</i>	Saunders, J L
051 Cram	W/B	17/12/23			
022 Elliott	Brick	17/10/21			
024 Elliott	Brick	17/10/21	Saunders, J L	<i>Builder</i>	
127 Gordon	Brick	21/02/21	Saunders, J L	<i>Builder</i>	Saunders, J L
129 Gordon	Brick	21/02/21	Saunders, J L	<i>Builder</i>	
Scoular, C					
	<i>Carpenter</i>		46 Edward St, Merewether		
099 National Park	W/B	10/02/26	Scoular, C	<i>Carpenter</i>	Scoular, C
Soper, H L					
030 Stanley	W/B	16/02/27	Soper, H L		
032 Stanley	W/B	7/07/27	Soper, H L		
039 Turnbull	W/B	20/01/26	Petney, Mrs M		
Southon, W					
025 Turnbull	Brick	17/06/26	Commings, C		
Sowby, L					
162 Glebe	W/B	6/06/25	Stallard, E		
166 Glebe	W/B	3/12/25	W Hyland		
085 National Park	W/B	15/12/24	Sowby, L		
140 National Park	House	26/05/27	Sowby, L		
064 Turnbull	W/B	21/01/26	Sowby, L		
Sowby, L C					
081 National Park	W/B	10/02/27	Sowby, L C		
060 Turnbull	W/B	20/01/27	Sowby, L C		
062 Turnbull	W/B	13/07/26	Sowby, L C		

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
Sowby, L S					
013 Elliott	W/B	25/02/25	Chard, A	<i>Ice Carter</i>	Chard, A
Stewart, W J <i>Joiner</i> Janet St, Merewether					
023 Turnbull	W/B	27/08/25	Stewart, W J	<i>Joiner</i>	Stewart, W J
Tennant, W A <i>Carpenter</i> 17 Wilton St, Merewether					
046 Smith	W/B	8/01/27	Lester, W G	<i>Boiler Maker</i>	Lester, W G
006 Stanley	W/B	23/12/26	Tennant, W A	<i>Carpenter</i>	
Teudt, L <i>Plumber</i> Tudor St, Hamilton					
021 Stanley	W/B	23/06/27	Pullin, H J	<i>Furniture Maker</i>	
Trevor-Jones, J W					
115 Stewart	Brick	27/08/24	Goldring, J	<i>Jeweller</i>	
Vallender, G W <i>Contractor</i> 37 Blackall St, Hamilton					
133 Gordon	Brick	4/03/24	Fraser, C	<i>Accountant</i>	Fraser, C
Waller, W R A & Mrs <i>Clerk</i>					
015 Cram	Brick	6/01/25	Waller, W R A & Mrs	<i>Clerk</i>	Waller, W R A &
Watson, A <i>Carpenter</i> 83 Gosford Rd, Merewether					
008 Elliott	W/B	25/01/24	Pheenan, Mr P		
009 Elliott	W/B	12/06/25	Mullally, O	<i>Traveller</i>	Mullally, O
Wilson, A M					
089 National Park	W/B	8/08/24	Dixon, G	<i>Builder</i>	
154 National Park	W/B	9/07/23	Wilson, Mr H		
Wilson, G H <i>Carpenter</i> 131 Everton St, Hamilton					
018 Elliott	W/B	1/10/23	Whitford, A W	<i>Engine Fitter</i>	Whitford, A W
Wilson, R					
023 Elliott	Brick	5/01/23	Nolan, P	<i>Orderman</i>	Nolan, P

Address of Dwelling	Type of Dwelling	Date of Connection	Owner	Owner's Profession	Occupier
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Wilson, R C

162 National Park W/B 12/06/23 Shackleton, H *Fireman* Shackleton, H

Wilson, Thomas

005 Ravenshaw Brick 10/02/17

Wood, Mrs C W

052 Kenrick Brick 4/11/26 Wood, Mrs C W

Wooden, F

123 Stewart Brick 8/07/26 Harper, A

Wooden, J

117 Stewart Brick 2/01/24 Topps, A H

Garden Suburb, Hamilton, south of Jenner Parade Owners, 1914-1927 (in alphabetical order)

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09-Nov-96

Owner	Owner's Address	Address of Dwelling	
A A Company		141	Gordon
Adams, F	13 Cram	013	Cram
Anderson, J		066	Kenrick
Anderson, J		079	Kenrick
Anderson, J		081	Kenrick
Anderson, J		004	Stanley
Anderson, J		007	Stanley
Anderson, Mrs V A	24 Cram	024	Cram
Anderson, S	Lawson St, Hamilton	208	Glebe
Beck, H R	170 Glebe	170	Glebe
Bell, J	Patrick St, Merewether	164	Glebe
Bennett, Miss E		019	Elliott
Bidner, Mrs E A	53 Turnbull	053	Turnbull
Bidner, W C	55 Turnbull	055	Turnbull
Blair, Mr		076	Turnbull
Blanksey, Mr W F		039	Cram
Bleazard, M J	131 Gordon	131	Gordon
Bradstreet, E J	20 Elliott	020	Elliott
Brand, Elsie		060	Kenrick
Bray, W H	Gosford Rd, Hamilton	001	Cram
Brien, R	2 Elliott	002	Elliott
Brook, W T		125	Stewart
Brookhouse, T		021	Turnbull
Bryant, Mrs R M		096	Turnbull
Bush, A J & Mrs J M		123	Gordon
Callen, P		226	Glebe
Carey, H R	142 National Park	142	National Park
Carson, W		023	Cram
Chapman, J	174 Glebe	174	Glebe
Chapman, Mr		048	Turnbull
Chard, A	13 Elliott	013	Elliott

Owner	Owner's Address	Address of Dwelling	
Christie, R A	46 Turnbull	046	Turnbull
Clarke, Mr W D	37 Cram	037	Cram
Cleaves, George	31 Cram	031	Cram
Cleaves, S	42 Cram	042	Cram
Comdings, C		025	Turnbull
Cornish, W		035	Turnbull
Cowley, S	17 Cram	017	Cram
Crawford, J	60 Smith	060	Smith
Dart, G W	56 Kenrick	056	Kenrick
Davies, W C	6 Ravenshaw	006	Ravenshaw
Davis, R G	64 Kenrick	064	Kenrick
Dixon, G		089	National Park
Dixon, G	3 Sneddon St, Merewether	091	National Park
Dixon, G	3 Sneddon St, Merewether	097	National Park
Dixon, G	3 Sneddon St, Merewether	016	Stanley
Dixon, G	3 Sneddon St, Merewether	018	Stanley
Donnison, T		063	Kenrick
Drew, Mrs	130 National Park	130	National Park
Egan, M B	13 Patrick St, Merewether	058	Kenrick
Elliott, AG & SF	168 Glebe	168	Glebe
Elliott, H A	42 Turnbull	042	Turnbull
Errington, D M	57 Turnbull	057	Turnbull
Ford, M A	129 Stewart	129	Stewart
Fraser, C	133 Gordon	133	Gordon
Freeman, R J	19 Turnbull	019	Turnbull
G W Pinfold & Co Ltd	Silsoe St, Hamilton	015	Elliott
G W Pinfold & Co Ltd	Silsoe St, Hamilton	017	Elliott
Gallaher, A	38 Turnbull	038	Turnbull
Gardiner, A W	1 Hugh St, Merewether	005	Cram
Gardiner, A W	1 Hugh St, Merewether	095	National Park
Gardiner, A W	1 Hugh St, Merewether	008	Stanley
Gardiner, A W	1 Hugh St, Merewether	010	Stanley
Gardiner, Nurse R		010	Cram
Garner, Mr F	44 Cram	044	Cram

Owner	Owner's Address	Address of Dwelling	
Geary, R A		086	Turnbull
Gibbs, Mrs M	14 Elliott	014	Elliott
Gibbs, T		050	Smith
Gilbert, W T		021	Cram
Gilmore, S F		017	Turnbull
Goldring, J	Silsoe St, Hamilton	075	National Park
Goldring, J	Silsoe St, Hamilton	020	Stanley
Goldring, J	Silsoe St, Hamilton	022	Stanley
Goldring, J	Silsoe St, Hamilton	024	Stanley
Goldring, J	Silsoe St, Hamilton	115	Stewart
Goodall, J	Silsoe St, Hamilton	010	Elliott
Goodier, G	144 National Park	008	Cram
Goodier, G J	144 National Park	144	National Park
Goodier, Gordon	144 National Park	030	Cram
Grace, Mrs K F	16 Elliott	016	Elliott
Greer, Mr W F	158 National Park	158	National Park
Halliday, L	212 Glebe	212	Glebe
Hansen, E C	137 Gordon	137	Gordon
Hardyman, E T	41 Turnbull	041	Turnbull
Harper, A		123	Stewart
Harrison, G W	125 Gordon	125	Gordon
Harrison, R	40 Cram	040	Cram
Hodges, H B		032	Cram
Howard, A		058	Smith
Howard, A		011	Turnbull
Howard, A		047	Turnbull
Howard, A		049	Turnbull
Howard, A G		009	Cram
Howard, H E		011	Cram
Jamieson, John		056	Turnbull
Johnson, Mrs R A	62 Kenrick	062	Kenrick
Lancaster, W A		065	Turnbull
Lee, Mrs L	Glossop St, New Lambton	006	Cram
Lee, Mrs L M	Glossop St, New Lambton	048	Turnbull

Owner	Owner's Address	Address of Dwelling	
Lee, R F		015	Turnbull
Lee, R F	Glossop St, New Lambton	050	Turnbull
Lester, W G		046	Smith
Lowe, T		031	Turnbull
Maier, Mr A	199 Stewart	199	Stewart
Maloy, P		026	Cram
Marks, E J	40 Turnbull	040	Turnbull
Matchet, R		020	Cram
Matchett, R	18 Cram	018	Cram
McDougall, Mrs S		013	Stanley
McDougall, Mrs S		043	Stanley
McGlynn, H A		080	Turnbull
McIntyre, E	66 Smith	066	Smith
McLean, Mrs		082	Turnbull
McLillan, C C	127 Stewart	127	Stewart
McMahon, J P		224	Glebe
McMasters, C	44 Turnbull	044	Turnbull
McPhee, W P A	13 turnbull	013	Turnbull
Miller, W W	27 Cram	027	Cram
Mills, A	49 Lambton Rd, Lambton	007	Elliott
Mills, L C		214	Glebe
Mitchell, T R & W		062	Smith
Mitchison, J		084	Turnbull
Moore, V E J		206	Glebe
Mullally, O	9 Elliott	009	Elliott
Muncaster, W	210 Glebe	210	Glebe
Nolan, P	23 Elliott	023	Elliott
Orrett Bros	91 Union St, Merewether	152	National Park
Pascoe, R L	192 Glebe	192	Glebe
Petersen Bros		004	Cram
Petney, Mrs M		039	Turnbull
Pheenan, Mr P		008	Elliott
Pinfold, J P	33 Cram	033	Cram
Pullin, H J	16 Samdon St, Hamilton	022	Cram

Owner	Owner's Address	Address of Dwelling	
Pullin, H J		021	Stanley
Pullin, H J		037	Turnbull
Reynolds, E	45 Turnbull	045	Turnbull
Reynolds, R F		063	National Park
Robertson, J	12 Stanley	012	Stanley
Robinson, H	19 Cram	019	Cram
Saunders, J L	49 Cram	049	Cram
Saunders, J L	127 Gordon	024	Elliott
Saunders, J L	127 Gordon	127	Gordon
Saunders, J L	127 Gordon	129	Gordon
Schuck, V J	14 Stanley	014	Stanley
Scott, A		025	Elliott
Scoular, C	46 Edward St, Merewether	099	National Park
Shackleton, H	162 National Park	162	National Park
Snow, W	85 Kenrick	085	Kenrick
Soper, H L		030	Stanley
Soper, H L		032	Stanley
Sowby, L		085	National Park
Sowby, L		140	National Park
Sowby, L		064	Turnbull
Sowby, L C		081	National Park
Sowby, L C		060	Turnbull
Sowby, L C		062	Turnbull
Stace, Mrs		029	Cram
Stallard, E		004	Elliott
Stallard, E		162	Glebe
Stewart, W J	23 Turnbull	023	Turnbull
Tennant, W A	17 Wilton St, Merewether	006	Stanley
Thorpe, F		021	Elliott
Topps, A H		117	Stewart
Trove, G W		113	Stewart
Trustees Merewether Met		176	Glebe
Viggers, F		002	Cram
Viggers, F		016	Cram

Owner	Owner's Address	Address of Dwelling	
Viggers, F		025	Cram
Viggers, F		025	Cram
Viggers, J		003	Cram
Viggers, J		064	Smith
Viggers, J		015	Stanley
W Hyland		166	Glebe
Waller, W R A & Mrs E	15 Cram	015	Cram
Walters, J H		041	Cram
Walters, W J		027	Elliott
Weale, M		001	Stanley
Whitford, A W	18 Elliott	018	Elliott
Williams, Mr D A	35 Cram	035	Cram
Wilson, Mr H		154	National Park
Wood, Mrs C W		052	Kenrick
Woods, E	34 Cram	034	Cram
Young, R	135 Gordon	135	Gordon

Garden Suburb, Hamilton, south of Jenner Parade
Occupiers, 1914-1927 (arranged alphabetically, by occupation)

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08-Nov-96

Occupier and Owner	Type of Dwelling	Applicant	Address of Dwelling	
Accountant				
Errington, D M	Brick	Errington, D M	057	Turnbull
Fraser, C	Brick	Vallender, G W	133	Gordon
Harrison, G W	Brick	Orrett Bros	125	Gordon
Agent				
Marks, E J	W/B	Marks, E J	040	Turnbull
Bank Officer				
Carey, H R	Brick	Dickson, G	142	National Park
Barman				
McIntyre, E	W/B	Lee, R F	066	Smith
Blacksmith				
Harrison, R	W/B	James, D	040	Cram
Boiler Maker				
Lester, W G	W/B	Tennant, W A	046	Smith
Miller, W W	W/B	Lee, R F	027	Cram
Bricklayer				
Ford, M A	Brick	Ford, M A	129	Stewart
Builder				
Bidner, W C	Brick	Bidner, W C	055	Turnbull
Cleaves, George	W/B	Cleaves, G	031	Cram
Elliott, A G & S F	W/B	Elliott, A G & S F	168	Glebe
Elliott, H A	Brick	Elliott, H A	042	Turnbull
Pinfold, J P	W/B	G W Pinfold & Co Ltd	033	Cram
Saunders, J L	Brick	Saunders, J L	127	Gordon
Saunders, J L	W/B	Saunders, J L	049	Cram

Occupier and Owner	Type of Dwelling	Applicant	Address of Dwelling	
Buyer				
Bradstreet, E J	Brick	Dilley, A	020	Elliott
Carpenter				
Davis, R G	W/B	Davis, R C	064	Kenrick
Freeman, R J	W/B	Freeman, R J	019	Turnbull
Robinson, H	W/B	Robinson, H	019	Cram
Scoular, C	W/B	Scoular, C	099	National Park
Carpenter's Labourer				
Garner, Mr F	W/B	Petersen Bros	044	Cram
Carter				
Brien, R	Brick	Lee, R F	002	Elliott
Schuck, V J	W/B	Gardiner, A W	014	Stanley
Clerk				
Donovan, Ellen	House	Egan, M B	058	Kenrick
Halliday, L	Brick	Peebles, P	212	Glebe
Pascoe, R L	W/B (Brick	Kirk, T	192	Glebe
Waller, W R A &	Brick	Waller, W R A & Mrs E	015	Cram
Contractor				
Beck, H R	W/B	Beck, H R	170	Glebe
Engine Fitter				
Whitford, A W	W/B	Wilson, G H	018	Elliott
Engineer				
Hardyman, E T	W/B	Hardyman, E T	041	Turnbull
McLillan, C C	Brick	Nott, P A	127	Stewart
McPhee, W P A	W/B	Lee, R F	013	Turnbull
Fireman				
Shackleton, H	W/B	Wilson, R C	162	National Park
Home Duties				
Anderson, Mrs V	W/B	Anderson, Mrs V A	024	Cram

Occupier and Owner	Type of Dwelling	Applicant	Address of Dwelling	
Bidner, Mrs E A	Brick	Bidner, W C	053	Turnbull
Drew, Mrs	W/B	Lee, R F	130	National Park
Gibbs, Mrs M	Brick	Jones, A	014	Elliott
Grace, Mrs K F	Brick	Grace, Mrs K F	016	Elliott
Johnson, Mrs R A	W/B	Mitchell, T & W	062	Kenrick
Orrett, Mrs A M	W/B	Orrett Bros (CK & RS)	152	National Park
Hospital Attendant				
Adams, F	W/B	Murdoch & Turner	013	Cram
Ice Carter				
Chard, A	W/B	Sowby, L S	013	Elliott
Jockey				
Reynolds, E	Brick	Reynolds, E	045	Turnbull
Joiner				
Stewart, W J	W/B	Stewart, W J	023	Turnbull
Labourer				
Robertson, J	W/B	Robertson, J	012	Stanley
Letter Carrier				
Goodier, G J	W/B	Goodier, G J	144	National Park
Machinist				
Davies, W C	Brick	Davies, W C	006	Ravenshaw
Masseur				
Maier, Mr A	W/B	Orrett Bros	199	Stewart
Milk Vendor				
Christie, R A	W/B	Christie, R A	046	Turnbull
Muncaster, W	Brick	Muncaster, W	210	Glebe
Mine Deputy				
Young, R	Brick	Cleaves, G	135	Gordon
Motor Driver				
Matchett, R	W/B	Lee, R F	018	Cram

Occupier and Owner	Type of Dwelling	Applicant	Address of Dwelling	
Moulder				
Woods, E	Brick	Keenan & McGrorey	034	Cram
Orderman				
Nolan, P	Brick	Wilson, R	023	Elliott
Painter				
Bleazard, M J	Brick	Court, H W	131	Gordon
Plumber				
Cleaves, S	W/B	Peebles, P	042	Cram
Police Constable				
Greer, Mr W F	W/B	Pinfold, G W	158	National Park
Potter				
Crawford, J	W/B	Crawford, J	060	Smith
Pressman				
McMasters, C	W/B	Ryan, P J	044	Turnbull
Railway Employee				
Cowley, S	W/B	Gray, M D	017	Cram
Dart, G W	W/B	Dart, G W	056	Kenrick
Railway Signalman				
Hansen, E C	Brick	Cleaves, G	137	Gordon
Sales Manager				
Williams, Mr D A	W/B	G W Pinfold & Co Ltd	035	Cram
Seaman				
Snow, W	W/B	Gardiner, A W	085	Kenrick
Storeman/School Teacher (father and son)				
Chapman, J	W/B	Doran, V	174	Glebe
Tram Conductor				
Clarke, Mr W D	W/B	Pinfold, G W	037	Cram
Gallaher, A	W/B	Gallaher, A	038	Turnbull

Occupier and Owner	Type of Dwelling	Applicant	Address of Dwelling
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Traveller

Mullally, O

W/B

Watson, A

009 Elliott

Film 1 (in order of negatives)

Photo No	House No	Street	Type	Builder	Description and comments
1	2	Cram	W/B	Lee, R F	Garage at side
2	3	Cram	W/B	Lee, R F	Very simple garage. Stained glass throughout facade.
3	10	Cram	W/B	Lee, R F	One of 4 identical designs (6,8,10,20 Cram)
4	6	Cram	W/B	Lee, R F	One of 4 identical designs (6,8,10,20 Cram)
5	8	Cram	W/B	Lee, R F	One of 4 identical designs (6,8,10,20 Cram)
6	16	Cram	W/B	Lee, R F	Simpler roof line. 1 of 2 identical designs (16,18 Cram)
7	18	Cram	W/B	Lee, R F	Simpler roof line. 1 of 2 identical designs (16,18 Cram)
8	20	Cram	W/B	Lee, R F	One of 4 identical designs (6,8,10,20 Cram)
9	25,27	Cram	W/B	Lee, R F	Slight variation in front roof lines
10	30,32	Cram	W/B	Lee, R F	Even simpler identical designs
11	38	Cram	W/B	Petersen Bros	Triple gable - one of 2 identical designs (38,44 Cram)
12	44	Cram	W/B	Petersen Bros	Triple gable - one of 2 identical designs (38,44 Cram)
13	21	Cram	W/B	Petersen Bros	Single gable
15	4	Cram	W/B	Petersen Bros	Appears much classier - owned by Builder
16	26,28	Cram	W/B	Anderson, S	Identical
17	49,51	Cram	W/B	Saunders, J L	Similar - 49 (triple gable); 51 (twin gable)
18	2	Elliott	W/B	Lee, R F	Brick front verandah
19	15,17	Elliott	W/B	Pinfold, G W	Identical. Very simple.
20	21	Elliott	Brick	Petersen Bros	Looks architect designed. One off.
21	22,24	Elliott	Brick	Saunders, J L	Identical
22	42	Cram	W/B	Peebles, P	Gable and front sloping verandah
23	29	Cram	W/B+ Brick	Peebles, P	Looks architect designed. One off.
24	11	Turnbull	W/B	Lee, R F	Looks architect designed
25	13	Turnbull	W/B	Lee, R F	Simple gable, front entrance
26	15	Turnbull	W/B	Lee, R F	Simple gable, side entrance (could be 13 reversed)
27	48,50	Turnbull	W/B	Lee, R F	Identical. Triple gable.
28	76	Turnbull	W/B	Petersen Bros	Triple gable
29	80,82	Turnbull	W/B	Petersen Bros	Identical. Triple gable
30	84,86	Turnbull	W/B	Petersen Bros	Identical layout but very different roof lines
31	96	Turnbull	W/B	Petersen Bros	Similar to houses across road
32	58	Smith	W/B	Lee, R F	Single gable
33	64	Smith	W/B+ Brick	Petersen Bros	Different roof lines - architect designed?
34	66	Smith	W/B	Lee, R F	Corner block. Slight variation of roof lines from 58; added bay on side
35	8,10	Stanley	W/B	Gardiner, A W	Identical
36	14	Stanley	W/B	Gardiner, A W	Similar to 8+10, but with gable roof on verandah (could have been an addition)
37	13	Stanley	W/B	Lee, R F	Larger house

Garden Suburb, Hamilton, south of Jenner Parade
Houses photographed (5 November 1996)

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Film 2 (in order of negatives)

Photo No	House No	Street	Type	Builder	Description and comments
1 Streetscape: Stanley Street, looking West					
2	43	Stanley	W/B	Lee, R F	May be an earlier design
3	7	Stanley	Brick	Anderson, J	Simple roof line
4	4	Stanley	Brick	Anderson, J	More complex roof and brickwork
5	66	Kenrick	W/B	Anderson, J	Simple - no garage
6	79,81	Kenrick	W/B	Anderson, J	Identical - very simple
7	146, National 148, Park 150		W/B+ Brick	Drinkwater, C M & S	Identical - hip roofs with front gable
8 Streetscape: Cram Street, looking East					
9	164, National 166 Park		W/B	Drinkwater, C M & S	Identical - simple design with carport to one side
10	17	Cram	W/B	Gray, M D	Descendant of original owner, Gina Cowley, has original plans of house and diaries of original owner dating from 1918

Garden Suburb, Hamilton, south of Jenner Parade
Houses photographed (5 November 1996)

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Sorted in street order

House No	Street	Builder	Type	Description and comments	Film No	Photo No
2	Cram	Lee, R F	W/B	Garage at side	1	1
3	Cram	Lee, R F	W/B	Very simple garage. Stained glass throughout facade.	1	2
4	Cram	Petersen Bros	W/B	Appears much classier - owned by Builder	1	15
6	Cram	Lee, R F	W/B	One of 4 identical designs (6,8,10,20 Cram)	1	4
8	Cram	Lee, R F	W/B	One of 4 identical designs (6,8,10,20 Cram)	1	5
10	Cram	Lee, R F	W/B	One of 4 identical designs (6,8,10,20 Cram)	1	3
16	Cram	Lee, R F	W/B	Simpler roof line. 1 of 2 identical designs (16,18 Cram)	1	6
18	Cram	Lee, R F	W/B	Simpler roof line. 1 of 2 identical designs (16,18 Cram)	1	7
20	Cram	Lee, R F	W/B	One of 4 identical designs (6,8,10,20 Cram)	1	8
21	Cram	Petersen Bros	W/B	Single gable	1	13
29	Cram	Peebles, P	W/B+ Brick	Looks architect designed. One off.	1	23
38	Cram	Petersen Bros	W/B	Triple gable - one of 2 identical designs (38,44 Cram)	1	11
42	Cram	Peebles, P	W/B	Gable and front sloping verandah	1	22
44	Cram	Petersen Bros	W/B	Triple gable - one of 2 identical designs (38,44 Cram)	1	12
25,27	Cram	Lee, R F	W/B	Slight variation in front roof lines	1	9
26,28	Cram	Anderson, S	W/B	Identical	1	16
30,32	Cram	Lee, R F	W/B	Even simpler identical designs	1	10
49,51	Cram	Saunders, J L	W/B	Similar - 49 (triple gable); 51 (twin gable)	1	17
2	Elliott	Lee, R F	W/B	Brick front verandah	1	18
21	Elliott	Petersen Bros	Brick	Looks architect designed. One off.	1	20
15,17	Elliott	Pinfold, G W	W/B	Identical. Very simple.	1	19
22,24	Elliott	Saunders, J L	Brick	Identical	1	21
66	Kenrick	Anderson, J	W/B	Simple - no garage	2	5
79,81	Kenrick	Anderson, J	W/B	Identical - very simple	2	6
146, National 148, Park 150		Drinkwater, C M & S	W/B+ Brick	Identical - hip roofs with front gable	2	7
164, National 166 Park		Drinkwater, C M & S	W/B	Identical - simple design with carport to one side	2	9
58	Smith	Lee, R F	W/B	Single gable	1	32
64	Smith	Petersen Bros	W/B+ Brick	Different roof lines - architect designed?	1	33
66	Smith	Lee, R F	W/B	Corner block. Slight variation of roof lines from 58; added bay on side	1	34

Sorted in street order (contd)

House No	Street	Builder	Type	Description and comments	Film No	Photo No
4	Stanley	Anderson, J	Brick	More complex roof and brickwork	2	4
7	Stanley	Anderson, J	Brick	Simple roof line	2	3
13	Stanley	Lee, R F	W/B	Larger house	1	37
14	Stanley	Gardiner, A W	W/B	Similar to 8+10, but with gable roof on verandah (could have been an addition)	1	36
43	Stanley	Lee, R F	W/B	May be an earlier design	2	2
8,10	Stanley	Gardiner, A W	W/B	Identical	1	35
11	Turnbull	Lee, R F	W/B	Looks architect designed	1	24
13	Turnbull	Lee, R F	W/B	Simple gable, front entrance	1	25
15	Turnbull	Lee, R F	W/B	Simple gable, side entrance (could be 13 reversed)	1	26
76	Turnbull	Petersen Bros	W/B	Triple gable	1	28
96	Turnbull	Petersen Bros	W/B	Similar to houses across road	1	31
48,50	Turnbull	Lee, R F	W/B	Identical. Triple gable.	1	27
80,82	Turnbull	Petersen Bros	W/B	Identical. Triple gable	1	29
84,86	Turnbull	Petersen Bros	W/B	Identical layout but very different roof lines	1	30

Garden Suburb, Hamilton, south of Jenner Parade
Houses photographed (5 November 1996)

Sorted in alphabetical order of builders

Builder	House No	Street	Type	Description and comments	Film No	Photo No
Anderson, J	66	Kenrick	W/B	Simple - no garage	2	5
Anderson, J	79,81	Kenrick	W/B	Identical - very simple	2	6
Anderson, J	4	Stanley	Brick	More complex roof and brickwork	2	4
Anderson, J	7	Stanley	Brick	Simple roof line	2	3
Anderson, S	26,28	Cram	W/B	Identical	1	16
Drinkwater, C M & S	146, 148, 150	National Park	W/B+ Brick	Identical - hip roofs with front gable	2	7
Drinkwater, C M & S	164, 166	National Park	W/B	Identical - simple design with carport to one side	2	9
Gardiner, A W	14	Stanley	W/B	Similar to 8+10, but with gable roof on verandah (could have been an addition)	1	36
Gardiner, A W	8,10	Stanley	W/B	Identical	1	35
Lee, R F	2	Elliott	W/B	Brick front verandah	1	18
Lee, R F	58	Smith	W/B	Single gable	1	32
Lee, R F	66	Smith	W/B	Corner block. Slight variation of roof lines from 58; added bay on side	1	34
Lee, R F	13	Stanley	W/B	Larger house	1	37
Lee, R F	43	Stanley	W/B	May be an earlier design	2	2
Lee, R F	11	Turnbull	W/B	Looks architect designed	1	24
Lee, R F	13	Turnbull	W/B	Simple gable, front entrance	1	25
Lee, R F	15	Turnbull	W/B	Simple gable, side entrance (could be 13 reversed)	1	26
Lee, R F	48,50	Turnbull	W/B	Identical. Triple gable.	1	27
Lee, R F	2	Cram	W/B	Garage at side	1	1
Lee, R F	3	Cram	W/B	Very simple garage. Stained glass throughout facade.	1	2
Lee, R F	6	Cram	W/B	One of 4 identical designs (6,8,10,20 Cram)	1	4
Lee, R F	8	Cram	W/B	One of 4 identical designs (6,8,10,20 Cram)	1	5
Lee, R F	10	Cram	W/B	One of 4 identical designs (6,8,10,20 Cram)	1	3
Lee, R F	16	Cram	W/B	Simpler roof line. 1 of 2 identical designs (16,18 Cram)	1	6
Lee, R F	18	Cram	W/B	Simpler roof line. 1 of 2 identical designs (16,18 Cram)	1	7
Lee, R F	20	Cram	W/B	One of 4 identical designs (6,8,10,20 Cram)	1	8
Lee, R F	25,27	Cram	W/B	Slight variation in front roof lines	1	9
Lee, R F	30,32	Cram	W/B	Even simpler identical designs	1	10
Peebles, P	29	Cram	W/B+ Brick	Looks architect designed. One off.	1	23
Peebles, P	42	Cram	W/B	Gable and front sloping verandah	1	22

Garden Suburb, Hamilton, south of Jenner Parade
Houses photographed (5 November 1996)

Sorted in alphabetical order of builders (contd)

Builder	House Street No	Type	Description and comments	Film No	Photo No
Petersen Bros	4 Cram	W/B	Appears much classier - owned by Builder	1	15
Petersen Bros	21 Cram	W/B	Single gable	1	13
Petersen Bros	38 Cram	W/B	Triple gable - one of 2 identical designs (38,44 Cram)	1	11
Petersen Bros	44 Cram	W/B	Triple gable - one of 2 identical designs (38,44 Cram)	1	12
Petersen Bros	21 Elliott	Brick	Looks architect designed. One off.	1	20
Petersen Bros	64 Smith	W/B+ Brick	Different roof lines - architect designed?	1	33
Petersen Bros	76 Turnbull	W/B	Triple gable	1	28
Petersen Bros	96 Turnbull	W/B	Similar to houses across road	1	31
Petersen Bros	80,82 Turnbull	W/B	Identical. Triple gable	1	29
Petersen Bros	84,86 Turnbull	W/B	Identical layout but very different roof lines	1	30
Pinfold, G W	15,17 Elliott	W/B	Identical. Very simple.	1	19
Saunders, J L	49,51 Cram	W/B	Similar - 49 (triple gable); 51 (twin gable)	1	17
Saunders, J L	22,24 Elliott	Brick	Identical	1	21